



*Empowering Businesses. Inspiring Growth.*

**Mary Ellen Rogulski**, Chairman • **Edward A. Diana**, Vice Chairman • **James DiSalvo**, Second Vice Chairman  
**Stephen Brescia**, Secretary • **Michael Gaydos**, Assistant Secretary • **John McCarey** • **Denise Quinn**  
**Laurie Villasuso**, Chief Executive Officer • **Vincent Cozzolino**, Managing Director • **Melanie Schouten**, Chief Operating Officer  
**Edward Januszkiewicz**, Chief Financial Officer • **Kevin Dowd**, Attorney • **Russell E. Gaenzle**, Harris Beach

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## Agenda

Due to the COVID-19 public health crisis, this meeting will be held via video conference.  
To watch the livestream, please visit our website: [www.ocnyida.com](http://www.ocnyida.com)

PLEASE TAKE NOTICE, The Orange County Industrial Development Agency will hold a regularly scheduled meeting on November 12, 2020 at 1:00 p.m. to consider and/or act upon the following:

### Order of Business

- **Pledge of Allegiance**
- **Roll Call**
- **Approval of the minutes from October 8, 2020 meeting**
- **Financial Reports and/or Requests for Payments**
- **New and Unfinished Business**
  - Chairman's Report
  - Chief Executive Officer Report
  - Accelerator Report
- **Resolutions**
  - Clear Key, LLC
    - Assignment and Assumption
  - Orange Inn, LLC
    - Initial Resolution
- **Other Board Business**
  - NYTT, LLC
- **Adjournment**

Dated: November 5, 2020

Stephen Brescia, Secretary

By: Laurie Villasuso, Chief Executive Officer

ORANGE COUNTY INDUSTRIAL DEVELOPMENT AGENCY

MINUTES

October 8, 2020

A regular meeting of the Orange County Industrial Development Agency was convened via Zoom video conference October 8, 2020 at 2:02P.M.

Chairman Rogulski calls to order the regular meeting of the Orange County IDA, October 8, 2020. Board consists of seven members. There is a quorum. Upon roll call, the following were:

PRESENT: Mary Ellen Rogulski, Edward Diana, James DiSalvo, Stephen Brescia, Michael Gaydos, John McCarey, Denise Quinn

ABSENT: NONE

ALSO PRESENT: Laurie Villasuso – Chief Executive Officer  
Vincent Cozzolino – Managing Director  
Melanie Schouten – Chief Operating Officer  
Edward Januszkiewicz – Chief Financial Officer  
Kevin Dowd – IDA Attorney  
Russell Gaenzle – Harris Beach  
Dean Brady – Tech Management

Chairman Rogulski welcomes the newest Board Member, Denise Quinn. Ms. Quinn is a mortgage banker and the Town Supervisor for the Town of Wawayanda.

**Minutes**

Review of the September 10, 2020 Board meeting minutes. Motion to approve the minutes is made by Mr. Gaydos, seconded by Mr. DiSalvo. Motion carries with all in favor.

Review of the September 10, 2020 Audit Committee meeting minutes. Motion to approve the minutes is made by Mr. DiSalvo, seconded by Mr. Diana. Motion carries with all in favor.

**Financial Reports and/or Requests for Payment**

Mr. Januszkiewicz reviews the financial reports and requests for payments.

The summary of IDA bank accounts, certificate of deposits, and money market accounts reflect a total of \$6,099,795 as of September 30, 2020.

On the income and expense summary, YTD income is \$543,714 and YTD expenses are \$256,681, with revenues exceeding expenses by \$287,033.

On the income and expense summary for the Business Accelerator, revenues YTD are \$97,676, and expenses are \$1,926,614. Expenses, as anticipated, exceed revenues by \$1,828,938.

The Statement of Net Assets is reviewed. There has been no substantial change in receivables.

Chairman Rogulski asks for a motion to approve the vouchers and payments in the amount of \$58,476.96 for October. Motion made by Mr. Brescia, seconded by Mr. Gaydos, that the board accept the financial reports and authorize IDA payments and vouchers. Open for discussion. Affirmative votes of all members present results in motion carried.

## **Chairman's Report**

Chairman Rogulski passes on giving a Chairman's Report

## **Chief Executive Officer Report**

Ms. Villasuso gives the Chief Executive Officer Report.

With the addition of the new Board Member, the Chairman has reappointed Committee members. The new appointments are as follows:

Governance Committee:  
Edward A. Diana, Chair  
Michael Gaydos  
James DiSalvo  
Alternate: John McCarey

Audit Committee:  
James DiSalvo, Chair  
Edward A. Diana  
Michael Gaydos  
Alternate: Denise Quinn

Accelerator Committee:  
Edward A. Diana, Chair  
Mary Ellen Rogulski  
Denise Quinn  
Alternate: Stephen Brescia

Finance Committee:  
James DiSalvo, Chair  
John McCarey  
Michael Gaydos  
Alternate: Edward A. Diana

COVID-19 Loan Resiliency Committee:  
Mary Ellen Rogulski, Chair  
James DiSalvo  
Edward A. Diana

Human Resources:  
Mary Ellen Rogulski, Chair  
Michael Gaydos

Management created a New Board Member packet. This informative packet includes all fiduciary acknowledgements, PAAA and PARA legislations, training requirements, oath of office requirements, enabling statute from the General Municipal Law, project applications, and approval matrices. The packet will help streamline the onboarding process for newly appointed Board Members.

The Executive Order to allow virtual meetings was extended through November 3<sup>rd</sup>. This Executive order is signed on a month-to-month basis, and typically on the day of expiration.

An article was featured in the Times Herald Record regarding the sale of Leentjes Amusements. The article discusses why the owner, Brian Leentjes, put The Castle on the market. Without being able to open for the 2020 season, the business is facing challenging times. If the business does sell, the Board would need to act to either assign the current incentives to the new owner or terminate the agreements.

At last month's meeting, the Board discussed the recapture of Sale and Use Tax funds spent past the designated expiration date by The Sentinel Realty in Port Jervis. Mr. Dowd sent a letter to the project formally requesting the recapture of funds.

At last month's meeting, the Board discussed the recapture of Sale and Use Tax funds spent by Kraftify, due to the request for the early termination of documents. The recapture letter will be sent out tomorrow.

The Accelerator and OCIDA hosted the 2020 Hudson Valley Women's Leadership Conference: Empowered by Change on September 22, 23, and 24. This is the third annual conference. There were 200 plus attendees over the 3 days. Typically, this event is held at The Culinary Institute of America in Hyde Park but due to COVID, this year's event was held virtually. The specific topics were: Leadership from the Inside Out, Golden Rules of Goal Setting, Refining the Power of Community, and Mindful Selfcare as a Leadership Strategy. The videos can be watched via the OCIDA and Accelerator site by those who missed the live event.

### **Accelerator Report**

Mr. Cozzolino gives the Accelerator Report.

There are about 170 positions available at local companies. Employers are having a hard time finding staff. Management reached out to the NY Department of Labor to devise a strategy to get these jobs filled.

The Committee discussed the Hemp Cluster. NY State regulations on CBD production forbidding certain production is hurting NY State based entrepreneurs. Currently, new regulations are making their way through. There is an agreement in the Assembly and the Senate, and now the Governor's office just needs to pass them. If these regulations are passed, the Warwick based cluster could move forward with the production factory and local farmers could sell their product. There is a coalition of people working to get the regulation passed which includes Jen Metzger and the OCIDA Lobbyist. If successful, it is expected that by February 2021, the OCIDA would be able to recoup the \$2.1M Town of Warwick investment.

### **Resolutions**

Fairbanks MFG, LLC

Ms. Villasuso reminds the Board that Fairbanks Manufacturing is a project located in the Town of Wallkill. They have been acquired by PepsiCo and their subsidiary Frito-Lay. Frito-Lay would like to transfer the property titles and associated documents into their name.

Resolution – Assignment and Assumption

Mr. Dowd reads aloud the Fairbanks MFG, LLC Resolution. Resolution authorizing the Orange County Industrial Development Agency to execute all necessary documents in connection with the conveyance of the project and the project documents to Frito-Lay, Inc. Motion is made by Mr. McCarey, seconded by Mr. Brescia. Roll call is taken. All vote in favor.

### **Other Board Business**

No Other Board Business is presented.

### **Adjournment**

Meeting called for adjournment, motion made by Mr. DiSalvo, seconded by Mr. Gaydos, the time being 2:17p.m.



**Orange County Industrial Development Agency**  
 Banks Accounts/Certificates of Deposit/Money Markets Accounts  
 As of October 31, 2020

Listed in order of maturity date.

Purchase Date	Maturity Date	# of Days	Bank	Principal	Interest Rate	Interest Amount	Status
2/28/20	3/1/21	367	M&T Bank - CD	\$ 1,374,253	1.25%	\$ 17,178	open

Bank	Account Type	Amount	% of total	rate
Chase Bank	Checking Account - Operating	\$ 1,294,533	21%	-
M&T	Savings	\$ 1,581,000	26%	-
Orange Bank & Trust Co	Checking Account - Trust Escrow	\$ 72,110	1%	-
Total CDs and Treasuries	Certificates of Deposit & Treasuries	\$ 1,374,253	23%	See above.
Sterling National Bank	Money Market	\$ 1,719,572	28%	0.25%
Total		<u>\$ 6,041,469</u>	<u>100%</u>	

**Orange County IDA  
Income and Expense Summary  
October 2020**

	Oct	YTD	Budget	Over/(Under)
<b>Income</b>				
Closing Fees	\$ -	\$ 70,102	\$ 1,445,393	\$ (1,375,291)
Fees	\$ -	\$ 401,091	\$ 783,316	\$ (382,225)
IDA Administrative Fees	\$ -	\$ 2,500	\$ 10,000	\$ (7,500)
Interest Earnings	\$ 151	\$ 61,925	\$ 90,000	\$ (28,075)
Pass Thru Legal Fees	\$ -	\$ 2,500	\$ 10,000	\$ (7,500)
Other Income	\$ -	\$ 5,748	\$ -	\$ 5,748
<b>Total Income</b>	<b>\$ 151</b>	<b>\$ 543,865</b>	<b>\$ 2,338,709</b>	<b>\$ (1,794,844)</b>
<b>Expenses</b>				
<b>Administrative Costs</b>				
Auditors	\$ -	\$ 65,253	\$ 51,580	\$ 13,673
Insurance	\$ -	\$ 12,839	\$ 10,800	\$ 2,039
Professional Fees	\$ 15,838	\$ 112,421	\$ 126,000	\$ (13,579)
<b>Total Administrative Costs</b>	<b>\$ 15,838</b>	<b>\$ 190,513</b>	<b>\$ 188,380</b>	<b>\$ 2,133</b>
<b>Agency Contribution Costs</b>				
Friends of Orange County Youth Bureau Fund	\$ -	\$ 3,204	\$ 22,500	\$ (19,296)
Hudson Valley Agribusiness Dvl.	\$ -	\$ -	\$ 25,000	\$ (25,000)
O.C. Foreign Trade Zone	\$ -	\$ -	\$ 25,000	\$ (25,000)
PTAC	\$ -	\$ -	\$ 14,000	\$ (14,000)
T-SEC	\$ 11,623	\$ 26,247	\$ 35,000	\$ (8,753)
Women's Enterprise Dev Center	\$ -	\$ -	\$ 30,000	\$ (30,000)
<b>Total Agency Contribution Costs</b>	<b>\$ 11,623</b>	<b>\$ 29,451</b>	<b>\$ 151,500</b>	<b>\$ (122,049)</b>
<b>Legal</b>				
Legal, Pass Thru	\$ 6,017	\$ 65,194	\$ 120,000	\$ (54,806)
<b>Total Legal</b>	<b>\$ 6,017</b>	<b>\$ 70,194</b>	<b>\$ 130,000</b>	<b>\$ (59,806)</b>
<b>Projects</b>				
Project Expenditures	\$ 25,000	\$ 25,000	\$ 1,500,000	\$ (1,475,000)
Research and Support	\$ -	\$ -	\$ 89,000	\$ (89,000)
Shovel Ready Program	\$ -	\$ -	\$ 100,000	\$ (100,000)
<b>Total Projects</b>	<b>\$ 25,000</b>	<b>\$ 25,000</b>	<b>\$ 1,689,000</b>	<b>\$ (1,664,000)</b>
<b>Total Expenses</b>	<b>\$ 58,477</b>	<b>\$ 315,158</b>	<b>\$ 2,158,880</b>	<b>\$ (1,843,722)</b>
<b>Income Over/(Under) Expenses</b>	<b>\$ (58,326)</b>	<b>\$ 228,707</b>	<b>\$ 179,829</b>	<b>\$ 48,878</b>

**The Accelerator  
Income and Expense Summary  
October 2020**

	October	Y-T-D	Budget	Over/(Under)
<b>Income</b>				
Client Rent	\$ 7,277	\$ 64,467	\$ 102,331	\$ (37,864)
Grant Income	\$ -	\$ 40,000	\$ -	\$ 40,000
Interest Income	\$ 10	\$ 296	\$ 100	\$ 196
<b>Total Income</b>	<b>\$ 7,287</b>	<b>\$ 104,763</b>	<b>\$ 102,431</b>	<b>\$ 2,332</b>
<b>Expenses</b>				
Salaries & Benefits	\$ 40,508	\$ 437,085	\$ 572,238	\$ (135,153)
Payroll taxes and fees	\$ 3,974	\$ 42,104	\$ 53,796	\$ (11,692)
Management Expense	\$ 37,166	\$ 398,900	\$ 446,000	\$ (47,100)
Accelerator Without Walls	\$ 45,625	\$ 318,110	\$ 500,000	\$ (181,890)
Special Initiatives	\$ 62,021	\$ 155,580	\$ 100,000	\$ 55,580
<b>Building Expenses:</b>				
Insurance	\$ 1,811	\$ 38,284	\$ 21,000	\$ 17,284
Rent	\$ 36,707	\$ 373,189	\$ 510,849	\$ (137,660)
Utilities	\$ 2,673	\$ 42,205	\$ 50,000	\$ (7,795)
Repairs & Maintenance	\$ -	\$ 3,434	\$ 23,500	\$ (20,066)
Operations (snow, lawn, trash, etc.)	\$ 981	\$ 15,664	\$ 17,200	\$ (1,536)
Renovations	\$ 14,620	\$ 54,774	\$ 65,000	\$ (10,226)
Highland Falls Campus - Renovations	\$ -	\$ -	\$ 75,000	\$ (75,000)
	<b>\$ 56,791</b>	<b>\$ 527,549</b>	<b>\$ 762,549</b>	<b>\$ (235,000)</b>
Equipment Maintenance - TSEC	\$ -	\$ -	\$ 50,000	\$ (50,000)
Equipment Maintenance - Other	\$ -	\$ 75	\$ 1,000	\$ (925)
Information Technology	\$ 4,286	\$ 30,079	\$ 25,000	\$ 5,079
Marketing, PR, Website & Membership	\$ 2,141	\$ 150,754	\$ 135,000	\$ 15,754
Office Cleaning	\$ 4,150	\$ 29,235	\$ 45,000	\$ (15,766)
Office Supplies and Postage	\$ 1,056	\$ 13,405	\$ 25,000	\$ (11,595)
Travel, Lodging & Meals	\$ -	\$ 3,720	\$ 10,000	\$ (6,280)
Training & Education	\$ -	\$ 5,380	\$ 4,000	\$ 1,380
Professional Fees	\$ 3,516	\$ 70,696	\$ 110,000	\$ (39,304)
Conference Expense (BA Sponsored)	\$ 500	\$ 3,500	\$ 5,000	\$ (1,500)
Bad Debt	\$ -	\$ 2,497	\$ -	\$ 2,497
<b>Total Expenses</b>	<b>\$ 261,734</b>	<b>\$ 2,188,666</b>	<b>\$ 2,844,583</b>	<b>\$ (655,917)</b>
<b>Income Over/(Under) Expenses</b>	<b>\$ (254,448)</b>	<b>\$ (2,083,903)</b>	<b>\$ (2,742,152)</b>	<b>\$ 658,249</b>

# Orange County IDA

November 2020

## Receipts

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<b>Grand Total</b>		<b>\$ -</b>

## Vouchers & Payments

<b>UHY Advisors</b>	<b>Oct Accounting Retainer</b>	<b>\$ 337.80</b>
	<b>Financial Audit Follow Up</b>	<b>\$ 300.00</b>
<b>Loewke Brill Consulting</b>	<b>Sept Site Visits, Reporting</b>	<b>\$ 3,380.00</b>
	<b>Oct Site Visits, Reporting</b>	<b>\$ 3,380.00</b>
<b>Brown &amp; Weinraub</b>	<b>November Consulting</b>	<b>\$ 5,500.00</b>
<b>Harris Beach</b>	<b>IDA Webinar Prep &amp; Support (Apr &amp; May)</b>	<b>\$ 3,042.50</b>
	<b>IDA Webinar Prep &amp; Support (Jun)</b>	<b>\$ 3,610.50</b>
<b>Grand Total</b>		<b>\$ 19,550.80</b>

# CLEAR KEY II, LLC

clearkeyllc@gmail.com

15 Bailie Lane, Monroe, NY 10950

October 28, 2020

Orange County New York IDA  
4 Crotty Lane, Suite 100  
New Windsor, NY 12553  
ATTN: Board of Trustees

RE: Clear Key II, LLC Project No.: IDA-1046

Dear IDA Board of Trustees,

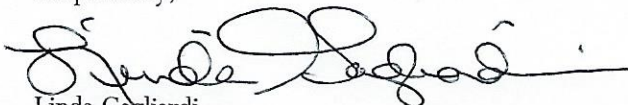
It goes without saying that this year has been a very difficult year for the hotel industry. We opened our doors on January 23<sup>rd</sup>, 2018. We are a small family owned business and opening up our first franchised hotel made 2018 one of the best years of our lives. It was the same for 2019 with an increase in occupancy of almost 50%. The hotel income paid all employee salaries, suppliers, and franchise fees for CHOICE Hotels. It also covered substantial mortgage payments. Being a family owned business we could not have asked for more. With Legoland opening in 2020 and the fact that we are one of their contracted preferred hotels we knew this year would have been even better. Furthermore, all the wedding blocks booked for 2020 and the rise of Woodbury Commons guests plus organic travelers we were guaranteed a remarkably profitable year. Then the Corona Virus Pandemic exploded in this country and crushed all those plans. All the above expenses now far outweighed the income.

We made the decision in May of 2020 to package our entire properties here in Monroe for sale and received offers from 7 different LLC's or Corporations almost immediately. The package that was marketed included the fact that we have a Pilot with the IDA on just the hotel parcel. That was a huge incentive especially in these uncertain times. Since 3 years of the tax abatement had transpired it was very appealing for a potential buyer to know the Pilot had 7 years still remaining. The hotel industry was hardest hit by COVID-19 and it will take the longest to recover according to the AHLA. (American Hotel and Lodging Association).

The Liviland Group LLC are the buyers. We chose them out of the seven offers we had for their stellar reputation in the building industry and the fact that they have hotel experience as well. They also had proven means to purchase the entire property. Finally, they understood that they would have to keep all the agreements, responsibilities and reporting requirements that went along with the IDA incentives. They are more than willing to keep the staff numbers and salaries the same as well which is all we could ask for with our extended family at the hotel.

We humbly request that the IDA Board Members grant the transfer of benefits from our Clear Key II LLC, to the Liviland Group LLC at your November 12<sup>th</sup>, 2020 meeting as we are planning to close with them on December 15<sup>th</sup> of this year.

Respectfully,



Linda Gagliardi

Clear Key II, LLC Managing Member



A. 491 Route 208, Suite 318 Monroe, NY, 10950

T. 845.351.0422 #101

E. [info@thelivlandgroup.com](mailto:info@thelivlandgroup.com)

W. [www.thelivlandgroup.com](http://www.thelivlandgroup.com)

October 29, 2020

**Orange County New York IDA**

4 Crotty Lane, Suite 100  
New Windsor, NY 12553  
ATTN: **Board of Trustees**

**RE: TRANSFER OF BENEFITS from Clear Key II, LLC: IDA-1046 to Blooming Grove Hotel, LLC**

Greetings to the **Orange County IDA Board of Trustees**,

Please allow us to introduce ourselves. We are a group of investors known as the **The Livland Group LLC**. We also have incorporated a new LLC for the sole purpose of placing the new ownership of the **Sleep Inn and Suites Hotel in Monroe, NY** to this entity. We will own the hotel under **Blooming Grove Hotel, LLC**.

The **Blooming Grove Hotel, LLC** will be part of our real estate partnership group (Livland) whose principals presently own and operate thousands of residential and commercial entities throughout **New York State**. The **Sleep Inn & Suites Hotel** will be a much-needed addition to our hotel portfolio right here in **Orange County, NY**.

We are writing to you regarding the **IDA PILOT** and **Tax Exemption Privileges** that have been granted to **Clear Key II LLC**, which we hereby request to have it transferred our new LLC.

Our goal is to keep the **CHOICE Hotel Franchise** as it is and to retain all current employees. The salary breakdown will range from **\$13** an hour all the way to **\$35** an hour for general management as it currently stands. The benefits offered will also stay consistent with the current contracts of weeklong paid vacations and also a paid number of sick days. Bonuses will go to those who meet and exceed expectations just as they do now. The Franchise offers the best of training to all Franchisees which include new ownership and any new staff members. Please know, we will continue to operate it on the highest standards as required by the Franchise to meet the needs of travelers and the surrounding community.

**More importantly to you we will assume all agreements, responsibilities and reporting requirements that come with the IDA incentives as outlined in the current PILOT agreement with Clear Key II, LLC.**

Thank you for your time and hopeful transfer of the remaining years of the tax exemption privileges the **PILOT** has to offer.

Best Regards,

*Jshuda Landau*  
**Managing Member**



*Empowering Businesses. Inspiring Growth.*

# APPLICATION FOR FINANCIAL ASSISTANCE

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(Applicant Name)

---

(Date of Application)

Orange County Business Accelerator  
4 Crotty Lane, Suite 100  
New Windsor, NY 12553  
Phone: 845-234-4192 Fax: 845-220-2228  
[www.ocnyida.com](http://www.ocnyida.com)  
[business@ocnyida.com](mailto:business@ocnyida.com)

Updated April 11, 2019



*Empowering Businesses. Inspiring Growth.*

**OCIDA Board**

**Mary Ellen Rogulski**  
Chairman

**Edward Diana**  
Vice Chairman

**James DiSalvo**  
Second Vice Chairman

**Stephen Brescia**  
Secretary

**Michael Gaydos**  
Assistant Secretary

**Robert Schreibeis**  
Board Member

**John McCarey**  
Board Member

**OCIDA Staff**

**Laurie Villasuso**  
Chief Executive Officer,  
Lobbying Designee

**Vincent Cozzolino**  
Managing Director

**Melanie Schouten**  
Chief Operating Officer,  
FOIL Officer

**Kevin Dowd**  
IDA Attorney

**Harris Beach PLLC**  
IDA Bond Counsel

**Edward Januszkiewicz**  
Chief Financial Officer

**Kelly Reilly**  
Project Manager

**Marty Borrás**  
Executive Assistant





*Empowering Businesses. Inspiring Growth.*

## **MISSION STATEMENT**

“The mission of the Orange County Industrial Development Agency is to **promote economic growth** through a program of incentives-based allocations that assist in the construction, equipping and maintenance of specific types of projects and facilities. The IDA works to advance the health, prosperity and economic welfare of our County’s citizens by **retaining and creating jobs and attracting new businesses.**”



*Empowering Businesses. Inspiring Growth.*

## Index

The sections below make up the information and documents that must be completed and submitted to the OCIDA for a project application to be considered. Failure to provide the required information may cause a delay in the project being considered in a timely manner.

Section I. ....	Applicant Information:	pg. 5
.....	Financial Information:	pg. 10
Section II. ....	Project Information:	pg. 11
Section III. ....	Financial Assistance Requested:	pg. 16
Section IV. ....	Employment Plan:	pg. 18
Section V. ....	Representations by the Applicant:	pg. 21

Fill in all blanks, using “none” or “not applicable” or “N/A” where the question does not pertain to the applicant’s project.

Attachments .....	Hold Harmless Agreement:	pg. 24
.....	Retail Questionnaire:	pg. 27
.....	Fee Schedule:	pg. 29
.....	Project Scoring Criteria:	pg. 32
.....	Labor Policy:	pg. 34



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## APPLICATION FOR FINANCIAL ASSISTANCE

### I. APPLICANT INFORMATION

#### A) APPLICANT

Company Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone No.: \_\_\_\_\_

Fax No.: \_\_\_\_\_

Fed Id. No.: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Title: \_\_\_\_\_

Contact Phone No.: \_\_\_\_\_

Contact Email: \_\_\_\_\_

IDA Management must be able to reach the Applicant's Contact throughout the duration of the Agreement. Should this information change at any time IDA Management should be notified Immediately. Please initial stating you understand and consent to the above \_\_\_\_\_

#### B) INDIVIDUAL COMPLETING APPLICATION

Name: \_\_\_\_\_

Company Name: \_\_\_\_\_

Title: \_\_\_\_\_

Address: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_

Email: \_\_\_\_\_

C) **APPLICANT'S COUNSEL**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone No.: \_\_\_\_\_

Fax No.: \_\_\_\_\_

Email: \_\_\_\_\_

IDA Management must be able to reach the Applicant's Counsel throughout the duration of the Agreement. Should this information change at any time IDA Management should be notified Immediately. Please initial stating you understand and consent to the above \_\_\_\_\_

D) **APPLICANT'S AUDIT CONTACT**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone No.: \_\_\_\_\_

Fax No.: \_\_\_\_\_

Contact Email: \_\_\_\_\_

The IDA is legally required to submit an annual PARIS report to the state that requires information from each project. Applicant participation is **NOT OPTIONAL**. **ALL INFORMATION** must be submitted in a **COMPLETE** and **TIMELY** manner. Failure to comply with this request **WILL RESULT** in a **LOSS/RECAPTURE** of **ALL OR SOME** of your benefits. Please initial stating you understand and consent to the above \_\_\_\_\_

E) **APPLICANT'S GENERAL CONTRACTOR/CONSTRUCTION MANAGER**

Name/Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone No.: \_\_\_\_\_

Fax No.: \_\_\_\_\_

Email: \_\_\_\_\_

F) Principal Owners/Officers/Directors (list owners with 15% or more in equity holdings with percentage ownership):

Name	Office Held	% of Ownership	% of Voting Rights

\*\*Please attach chart if space provided is not sufficient.

G) Corporate Structure (*attach schematic if applicant is a subsidiary or otherwise affiliated with another entity*)

Form of Entity

Corporation

Date of Incorporation: \_\_\_\_\_

State of Incorporation: \_\_\_\_\_

Partnership

General \_\_\_\_\_ or Limited \_\_\_\_\_

Number of general partners \_\_\_\_\_

If applicable, number of limited partners \_\_\_\_\_

Date of formation \_\_\_\_\_

Jurisdiction of Formation \_\_\_\_\_

Limited Liability Company/Partnership (number of members \_\_\_\_\_)

Date of organization: \_\_\_\_\_

State of Organization: \_\_\_\_\_

Sole Proprietorship

H) If a foreign organization, is the applicant authorized to do business in the State of New York?

Yes or  No

If no, please explain below:

\*\*Please attach narrative if space provided is not sufficient.

I) If any of the above persons, or a group of them, owns more than a 50% interest in the company, list all other organizations which are related to the company by such persons having more than a 50% interest in such organizations.

\*\*Please attach chart if space provided is not sufficient.

J) Is the company related to any other organization by reason of more than 50% common ownership? If so, indicate name of related organization and relationship.

\*\*Please attach narrative if space provided is not sufficient.

K) Has the Applicant or any of its affiliated organizations ever received OCIDA benefits?  **Yes** or  **No**

If yes, please describe the assisted project below:

\*\*Please attach narrative if space provided is not sufficient.

L) Legal Questions:

1. Is the Company presently the subject of any litigation, or is any litigation threatened, which would have a material adverse effect on the Company's financial condition?

**Yes** or  **No**

2. Has the company or any of its affiliates ever been involved in bankruptcy, a creditor's rights or receivership proceeding, or sought protection from creditors?

**Yes** or  **No**

3. Has the Company ever settled a debt with a lending institution for less than the full amount outstanding?

**Yes** or  **No**

4. Has any senior manager or principal of the Company ever been convicted of any felony or misdemeanor, other than a minor traffic violation, or are any such charges pending?

**Yes** or  **No**

5. Has the Company or any of its affiliates, been cited for a violation of federal, State or local laws or regulations with respect to labor practices, hazardous wastes, environmental pollution or operating practices?

Yes or  No

6. Are there any outstanding judgments or liens pending against the Company other than liens in the normal course of business?

Yes or  No

7. Is the Company delinquent on any New York State, federal or local tax obligations?

Yes or  No

If your answer is "YES" for any of the above questions, please provide an explanation:

\*\*Please attach narrative if space provided is not sufficient.

M) Has the company (or any related corporation or person) made a public offering or private placement of its stock within the last year?  Yes or  No

If yes, please attach offering statement used.

N) Brief description of Company History (formation, growth, transitions, location):

\*\*Please attach narrative if space provided is not sufficient.

Estimated % of sales within the County:

Estimated % of sales outside the County but within NYS:

Estimated % of sales outside NYS but within the U.S.:

Estimated % of sales outside the U.S.:

P) Sales and income projection or a project pro forma for proposed project for the next 3 to 5 years.

\*\*Please attach chart if space provided is not sufficient

O) Is the applicant (Company) party in compliance with local, state, and federal taxes, workers' protection, and environmental laws?  **Yes** or  **No**

If no, please describe below:

\*\*Please attach narrative if space provided is not sufficient

## FINANCIAL INFORMATION OF THE COMPANY

**A. For existing businesses:**

- The Applicant must submit three (3) years of accountant prepared financial statements.
- The Applicant must submit a current Certificate of Good Standing from the Department of State for the business.

**B. For new businesses:**

- The Applicant must submit three (3) years of personal tax returns for the owner(s).
- The Applicant must submit three (3) years of tax returns for the related businesses as well as Certificates of Good Standing from the Department of State.

*The requested Financial Information of the Company is to be kept confidential and is not subject to the Freedom of Information Law (FOIL).*



## II. PROJECT INFORMATION

A) Project Address: \_\_\_\_\_

Tax Map Number \_\_\_\_\_  
(Section/Block/Lot)

Located in City of \_\_\_\_\_

Located in Town of \_\_\_\_\_

Located in Village of \_\_\_\_\_

School District of \_\_\_\_\_

B) Are utilities on site?

Water \_\_\_\_\_ Electric \_\_\_\_\_

Gas \_\_\_\_\_ Sanitary/Storm Sewer \_\_\_\_\_

C) Present legal owner of the site \_\_\_\_\_  
If other than from applicant, by what means will the site be acquired for this project?  
\_\_\_\_\_

D) Zoning of Project Site: Current: \_\_\_\_\_ Proposed: \_\_\_\_\_

E) Are any variances needed? \_\_\_\_\_

F) Furnish a copy of any environmental application presently in process of completion concerning this project, providing name and address of the agency, and copy all pending or completed documentation and determinations.

G) Attach copies of preliminary plans or sketches of proposed construction or rehabilitation or both.

H) Statement describing project (i.e. land acquisition, construction of manufacturing facility, etc.):

\*\*Please attach narrative if space provided is not sufficient.

I) Statement describing the impact of incentives on this project, should they be granted:

\*\*Please attach narrative if space provided is not sufficient.

J) Statement describing the economic benefit to the surrounding community resulting from this project:

\*\*Please attach narrative if space provided is not sufficient.

K) Anticipated Date of Operation: \_\_\_\_\_

L) Principal use of project upon completion:

- |  |                                       |                                   |                                      |
|--|---------------------------------------|-----------------------------------|--------------------------------------|
| <input type="checkbox"/> manufacturing | <input type="checkbox"/> warehousing  | <input type="checkbox"/> research | <input type="checkbox"/> offices     |
| <input type="checkbox"/> industrial    | <input type="checkbox"/> recreation   | <input type="checkbox"/> retail   | <input type="checkbox"/> residential |
| <input type="checkbox"/> training      | <input type="checkbox"/> data process | <input type="checkbox"/> other    |                                      |

If other, explain: \_\_\_\_\_

M) NAICS Code: \_\_\_\_\_

N) Estimated Project Costs, including:

Value of property to be acquired: \$ \_\_\_\_\_

Value of improvements: \$ \_\_\_\_\_

Value of equipment to be purchased: \$ \_\_\_\_\_

Estimated cost of engineering/architectural services: \$ \_\_\_\_\_

Other: \$ \_\_\_\_\_

Total Capital Costs: \$ \_\_\_\_\_

Project refinancing; estimated amount  
(for refinancing of existing debt only) \$ \_\_\_\_\_

*Sources of Funds for Project Costs:*

Bank Financing: \$ \_\_\_\_\_

Equity (excluding equity that is attributed to grants/tax credits) \$ \_\_\_\_\_

Tax Exempt Bond Issuance (if applicable) \$ \_\_\_\_\_

Taxable Bond Issuance (if applicable) \$ \_\_\_\_\_

Public Sources (Include sum total of all state and federal grants and tax credits) \$ \_\_\_\_\_

Identify each state and federal grant/credit:

_____	\$ _____
_____	\$ _____
_____	\$ _____
_____	\$ _____
Total Sources of Funds for Project Costs:	\$ _____

O) Inter-Municipal Move Determination

Will the project result in the removal of a plant or facility of the applicant from one area of the State of New York to another?

Yes or  No

Will the project result in the removal of a plant or facility of another proposed occupant of the project from one area of the State of New York to another area of the State of New York?

Yes or  No

Will the project result in the abandonment of one or more plants or facilities located in the State of New York?

Yes or  No

If Yes to any of the questions above, explain how, notwithstanding the aforementioned closing or activity reduction, the Agency's Financial Assistance is required to prevent the Project from relocating out of the State, or is reasonably necessary to preserve the Project occupant's competitive position in its respective industry:

Project Data

1. Project site (land)

(a) Indicate approximate size (in acres or square feet) of project site.

\_\_\_\_\_

(b) Are there buildings now on the project site? \_\_\_\_\_ Yes \_\_\_\_\_ No

(c) Indicate the present use of the project site.

\_\_\_\_\_

(d) Indicate relationship to present user of project.

\_\_\_\_\_

2. Does the project involve acquisition of an existing building or buildings?  
If yes, indicate number, size and approximate age of buildings:

\_\_\_\_\_

3. Does the project consist of the construction of a new building or buildings?  
If yes, indicate number and size of new buildings:

\_\_\_\_\_

4. Does the project consist of additions and/or renovations to existing buildings?  
If yes, indicate nature of expansion and/or renovation:

\_\_\_\_\_

5. Estimated Start Date of Construction: \_\_\_\_\_

6. Estimated End Date of Construction: \_\_\_\_\_

7. What will the building or buildings to be acquired, constructed or expanded be used for by the company?  
(Include description of products to be manufactured, assembled or processed, and services to be rendered. . .

\_\_\_\_\_

. . . *including* the percentage of building(s) to be used for office space and an estimate of the percentage of the functions to be performed at such office not related to the day-to-day operations of the facilities being financed.)

\_\_\_\_\_

8. If any space in the project is to be leased to third parties, indicate total square footage of the project amount to be leased to each tenant and proposed use by each tenant.

\_\_\_\_\_

9. List principal items or categories of equipment to be acquired as part of the project.

\_\_\_\_\_

\_\_\_\_\_

10. Has construction work on this project begun?  Yes or  No

Complete the following

- |                            |           |          |                  |
|----------------------------|-----------|----------|------------------|
| (a) site clearance         | _____ Yes | _____ No | _____ % complete |
| (b) foundation             | _____ Yes | _____ No | _____ % complete |
| (c) footings               | _____ Yes | _____ No | _____ % complete |
| (d) steel                  | _____ Yes | _____ No | _____ % complete |
| (e) masonry work           | _____ Yes | _____ No | _____ % complete |
| (f) other (describe below) | _____ Yes | _____ No | _____ % complete |

### III. FINANCIAL ASSISTANCE REQUESTED

A) Benefits Requested:

- Sales Tax Exemption     Tax-Exempt/ Taxable Revenue Bond  
 Mortgage Recording Tax Exemption     Real Property Tax Agreement

B.) Value of Incentives:

IDA PILOT Benefit: Agency staff will indicate the amount of PILOT Benefit based on estimated Project Costs as contained herein and anticipated tax rates and assessed valuation, including the annual PILOT Benefit abatement amount for each year of the PILOT benefit year and the sum total of PILOT Benefit abatement amount for the term of the PILOT as depicted under the heading "Real Property Tax Benefit (Detailed)" of the Application.

Sales and Use Tax:

Estimated value of Sales Tax exemption for facility construction:  
\$ \_\_\_\_\_ X .08125 = \$ \_\_\_\_\_

(Amount of Project Cost Subject to Tax X Sales Tax Rate = Total)

Estimated Sales Tax exemption for fixtures and equipment:  
\$ \_\_\_\_\_ X .08125 = \$ \_\_\_\_\_

(Amount of Project Cost Subject to Tax X Sales Tax Rate = Total)

Estimated duration of Sales Tax exemption: \_\_\_\_\_

*\*\*Should coincide with construction timeline.*

Mortgage Recording Tax Exemption Benefit:

Estimated value of Mortgage: \$ \_\_\_\_\_

Estimated value of Mortgage Recording Tax exemption:

\$ \_\_\_\_\_ X .0075 = \$ \_\_\_\_\_

(Projected Amount of Mortgage X Mortgage Recording Tax = Total)

Tax-Exempt/ Taxable Revenue Bond Benefit:

Amount of Bonds, if requested: \$ \_\_\_\_\_

Is a purchaser for the Bonds in place?

Yes or  No

Percentage of Project Costs financed from Public Sector sources:

Agency staff will calculate the percentage of Project Costs financed from Public Sector sources based upon Sources of Funds for Project Costs as depicted above under the heading "Estimated Project Costs" (Section II(l)) of the Application.

C.) Likelihood of Undertaking Project without Receiving Financial Assistance

Please confirm by checking the box below, will this project move forward without the requested incentives?

**Yes** or  **No**

If the Project will be undertaken without Financial Assistance provided by the Agency, then provide a statement in the space provided below indicating why the Project should be given economic incentives by the Agency:

## IV. EMPLOYMENT PLAN

### A) Current Employee Headcount:

	Current # of jobs at proposed project location or to be relocated to project location	IF FINANCIAL ASSISTANCE IS GRANTED – project the number of FTE and PTE jobs to be RETAINED	IF FINANCIAL ASSISTANCE IS GRANTED – project the number of FTE and PTE jobs to be CREATED upon THREE Years after Project completion	Estimate number of residents of the Labor Market Area in which the Project is located that will fill the FTE and PTE jobs to be created upon THREE Years after Project Completion **
Full time (FTE)				
Part Time (PTE)				
Total				

Full-time Employee Definition: (i) a full-time, permanent, private-sector employee on the Company’s payroll, who has worked at the Project Location for a minimum of 35 hours per week for more than six months of a year and who is entitled to receive the usual and customary fringe benefits extended by Recipient to other employees with comparable rank and duties; or (ii) two part-time, permanent, private sector employees on Recipient’s payroll, who have worked at the Project Location for a combined minimum of 35 hours per week for more than six months of a year and who are entitled to receive the usual and customary fringe benefits extended by Recipient to other employees with comparable rank and duties.

\*\*For the purposes of this question, please estimate the number of FTE and PTE jobs that will be filled, as indicated in the third column, by residents of the Labor Market Area, in the fourth column. The Labor Market Area includes Orange County and the surrounding region (or six other contiguous counties, including Orange County, chosen at the Agency’s discretion).

### B) Salary and Fringe Benefits for Jobs to be Created:

Category of Jobs to be Created	Number of Jobs Year 1	Number of Jobs Year 2	Number of Jobs Year 3	Average Salary or Salary Range	Average Fringe Benefit or Range of Fringe Benefits
Management					
Professional					
Administrative					
Sales					
Production/ Manufacturing					
Independent Contractor					
Other (specify)					



If there is a salary range larger than \$20,000 in a category above please provide additional breakdown information below:

\*\*Please attach breakdown if space provided is not sufficient.

**C) Salary and Fringe Benefits for Jobs to be Retained:**

Category of Jobs to be Retained	Current Number of Jobs	Average Salary or Salary Range	Average Fringe Benefit or Range of Fringe Benefits
Management			
Professional			
Administrative			
Sales			
Production/ Manufacturing			
Independent Contractor			
Other (specify)			

If there is a salary range larger than \$20,000 in a category above please provide additional breakdown information below:

\*\*Please attach breakdown if space provided is not sufficient.

D) Please attach a projected hiring plan if conducted on a monthly time frame and not conducted on an annual basis as broken down in the charts above.

E) Describe the benefits or benefits package offered to employees:

\*\*Please attach narrative if space provided is not sufficient.

F) Describe internal training and advancement opportunities offered to employees:

\*\*Please attach narrative if space provided is not sufficient.

## V. REPRESENTATIONS BY THE APPLICANT

The Applicant understands and agrees with the Agency as follows:

- A. Job Listings In accordance with Section 858-b(2) of the New York General Municipal Law, the applicant understands and agrees that, if the proposed project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, new employment opportunities created as a result of the proposed project must be listed with the New York State Department of Labor Community Services Division (the "DOL") and with the administrative entity (collectively with the DOL, the "JTPA Entitle") of the service delivery area created by the federal job training partnership act (Public Law 97-300) ("JPTA") in which the project is located.
- B. First Consideration for Employment In accordance with Section 858-b(2) of the General Municipal Law, the applicant understands and agrees that, if the proposed project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, where practicable, the applicant must first consider persons eligible to participate in JTPA programs who shall be referred by the JPTA Entities for new employment opportunities created as a result of the proposed project.
- C. A liability and contract liability policy for a minimum of three million dollars will be furnished by the Applicant insuring the Agency.
- D. Annual Sales Tax Fillings In accordance with Section 874(8) of the General Municipal Law, the Applicant understands and agrees that, if the proposed project receives any sales tax exemptions as part of the Financial Assistance from the Agency, in accordance with Section 874(8) of the General Municipal Law, the applicant agrees to file, or cause to be filed, with the New York State Department of Taxation and Finance, the annual form prescribed by the Department of Taxation and Finance, describing the value of all sales tax exemptions claimed by the applicant and all consultants or subcontractors retained by the Applicant.
- E. Annual Employment Reports: The applicant understands and agrees that, if the proposed project receives any Financial Assistance from the Agency, the applicant agrees to file, or cause to be filed, with the Agency, on an annual basis, reports regarding the number of people employed at the project site. The applicant will receive a request for information in the fourth quarter of each year that Financial Assistance is utilized and agrees to return the information by the end of January the following year.
- F. Compliance with N.Y. GML Sec. 862(1): Applicant understands and agrees that the provisions of Section 862(1) of the New York General Municipal Law, as provided below, will not be violated if Financial Assistance is provided for the proposed Project:
- § 862. Restrictions on funds of the agency. (1) No funds of the agency shall be used in respect of any project if the completion thereof would result in the removal of an industrial or manufacturing plant of the project occupant from one area of the state to another area of the state or in the abandonment of one or more plants or facilities of the project occupant located within the state, provided, however, that neither restriction shall apply if the agency shall determine on the basis of the application before it that the project is reasonably necessary to discourage the project occupant from removing such other plant or facility to a location outside the state or is reasonably necessary to preserve the competitive position of the project occupant in its respective industry.
- G. Compliance with Applicable Laws: The Applicant confirms and acknowledges that the owner, occupant, or operator receiving Financial Assistance for the proposed Project is in substantial compliance with applicable local, state and federal tax, worker protection and environmental laws, rules and regulations.
- H. False and Misleading Information: The Applicant confirms and acknowledges that the submission of any knowingly false or knowingly misleading information may lead to the immediate termination of any

Financial Assistance and the reimbursement of an amount equal to all or part of any tax exemption claimed by reason of the Agency's involvement the Project.

- I. Recapture: Should the Applicant not expend, hire as presented, or violates Sales Tax Exemption regulations, the Agency may view such information/status as failing to meet the established standards of economic performance. In such events, some or all of the benefits taken by the Applicant will be subject to recapture.
- J. Rescission of Benefits Conferred: Applicant understands and agrees that in the event that (a) the Applicant does not proceed to final Agency approval within six (6) months of the date the Agency adopts its initial approval resolution and/or (b) close with the Agency on the requested financial assistance within twelve (12) months of the date the Agency adopts its initial resolution, the Agency reserves its right to rescind and cancel all prior approvals. In the event the Agency rescinds its approvals and the Applicant re-applies to the Agency, the Applicant understands and agrees that its re-application will be subject to any and all changes in law, Agency policies or fees imposed by the Agency that are in effect as of the date of re-application.
- K. Absence of Conflicts of Interest: The applicant has received from the Agency a list of the members, officers, and employees of the Agency. No member, officers or employee of the Agency has an interest, whether direct or indirect, in any transaction contemplated by this Application, except as hereinafter described:
- L. Freedom of Information Law (FOIL): The applicant acknowledges that the OCIDA is subject to New York State's Freedom of Information Law (FOIL). Applicants understand that all project information and records related to this application are potentially subject to disclosure under FOIL subject to limited statutory exclusions.

The Applicant and the individual executing this Application on behalf of applicant acknowledge that the Agency and its counsel will rely on the representations made in this Application when acting hereon and hereby represents that the statements made herein do not contain any untrue statement of a material fact and do not omit to state a material fact necessary to make the statements contained herein not misleading.

STATE OF NEW YORK )  
COUNTY OF ORANGE ) ss.:

\_\_\_\_\_, being first duly sworn, deposes and says:

- 1. That I am the \_\_\_\_\_ (Corporate Office) of \_\_\_\_\_ (Applicant) and that I am duly authorized on behalf of the Applicant to bind the Applicant.
- 2. That I have read the attached Application, I know the contents thereof, and that to the best of my knowledge and belief, this Application and the contents of this Application are true, accurate and complete.

\_\_\_\_\_  
(Signature of Officer)

Subscribed and affirmed to me under penalties of perjury  
this \_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
(Notary Public)

This Application should be submitted to:

Orange County Industrial Development Agency  
c/o Mary Ellen Rogulski, Chairman  
Orange County Business Accelerator  
4 Crotty Lane, Suite 100  
New Windsor, NY 12553.

The Agency will collect an administrative fee at the time of closing.

**SEE ATTACHED FEE SCHEDULE**

Transaction Counsel  
RUSSELL GAENZLE, ESQ.  
Harris Beach PLLC  
99 Garnsey Road  
Pittsford, New York 14534  
Tel: (585) 419-8633  
Fax: (585) 419-8817



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**HOLD HARMLESS AGREEMENT**

Applicant hereby releases the ORANGE COUNTY INDUSTRIAL DEVELOPMENT AGENCY and the members, officers, servants, agents and employees thereof (the "Agency") from, agrees that the Agency shall not be liable for and agrees to indemnify, defend and hold the Agency harmless from and against any and all liability arising from or expense incurred by (A) the Agency's examination and processing of, and action pursuant to or upon, the attached Application, regardless of whether or not the Application or the Project described therein or the tax exemptions and other assistance requested therein are favorably acted upon by the Agency, (B) the Agency's acquisition, construction and/or installation of the Project described therein and (C) any further action taken by the Agency with respect to the Project; including without limiting the generality of the foregoing, all causes of action and attorneys' fees and any other expenses incurred in defending any suits or actions which may arise as a result of any of the foregoing. If, for any reason, the Applicant fails to conclude or consummate necessary negotiations, or fails, within a reasonable or specified period of time, to take reasonable, proper or requested action, or withdraws, abandons, cancels or neglects the Application, or if the Agency or the Applicant are unable to reach final agreement with respect to the Project, then, and in the event, upon presentation of an invoice itemizing the same, the Applicant shall pay to the Agency, its agents or assigns, all costs incurred by the Agency in processing of the Application, including attorneys' fees, if any.

\_\_\_\_\_  
(Applicant Signature)

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

\_\_\_\_\_  
(Notary Public)

Sworn to before me this \_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_

[stamp]



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**To be completed/calculated by AGENCY**

**Real Property Tax Benefits (Detailed):**

\*\* This section of this Application will be: (i) completed by IDA Staff based upon information contained within the Application, and (ii) provided to the Applicant for ultimate inclusion as part of this completed Application.

PILOT Estimate Table Worksheet

Dollar Value of New Construction and Renovation Costs	Estimated New Assessed Value of Property Subject to IDA*	County Tax Rate/1000	Local Tax Rate (Town/City/Village)/1000	School Tax Rate/1000

\*Apply equalization rate to value

PILOT Year	% Payment	County PILOT Amount	Local PILOT Amount	School PILOT Amount	Total PILOT	Full Tax Payment w/o PILOT	Net Exemption
1							
2							
3							
4							
5							
6							
7							
8							
9							
10							
11							
12							
13							
14							
15							
16							
17							
18							
19							
20							
<b>TOTAL</b>							

\*Estimates provided are based on current property tax rates and assessment values

**Cost Benefit Analysis:**

**To be completed/calculated by AGENCY**

	<u>Costs =</u> <u>Financial Assistance</u>	<u>Benefits =</u> <u>Economic Development</u>
*Estimated Sales Tax Exemption	\$ _____	New Jobs Created Permanent ____ Temporary ____
		Existing Jobs Retained Permanent ____ Temporary ____
Estimated Mortgage Tax Exemption	\$ _____	Expected Yearly Payroll \$ _____
Estimated Property Tax Abatement	\$ _____	Expected Gross Receipts \$ _____
		Additional Revenues to School Districts _____ _____ _____
		Additional Revenues to Municipalities _____ _____ _____
		Other Benefits _____
Estimated Interest Savings IRB Issue	\$ _____	Private Funds invested \$ _____
		Likelihood of accomplishing proposed project within three (3) years  <input type="checkbox"/> Likely or <input type="checkbox"/> Unlikely

\* Estimated Value of Goods and Services to be exempt from sales and use tax as a result of the Agency's involvement in the Project. PLEASE NOTE: These amounts will be verified and there is a potential for a recapture of sales tax exemptions (see "Recapture" on page 10).

\$ \_\_\_\_\_ (to be used on the NYS ST-60)





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**Fill out when instructed by Agency**

**RETAIL QUESTIONNAIRE**

To ensure compliance with Section 862 of the New York General Municipal Law, the Agency requires additional information if the proposed Project is one where customers personally visit the Project site to undertake either a retail sale transaction or purchase services.

- A) Will any portion of the Project consist of facilities or property that will be primarily used in making sales of goods or services to customers who personally visit the Project site?  Yes  No
- B) What percentage of the cost of the Project will be expended on such facilities or property primarily used in making sales of goods or services to customers who personally visit the Project? \_\_\_\_\_ %
- C) Is the Project location or facility likely to attract a significant number of visitors from outside the Mid-Hudson Economic Development Region (i.e.: Orange, Dutchess, Putnam, Rockland, Sullivan, Ulster, and Westchester counties)?  Yes  No
- D) Will the Project make available goods or services which are not currently reasonably accessible to the residents of the municipality within which the proposed Project would be located?  Yes  No
- E) Will the Project preserve permanent, private sector jobs or increase the overall number of permanent, private sector jobs in the State of New York?  Yes  No

If yes, explain:

\*\*Please attach narrative if space provided is not sufficient.

- F) Will the Project be located in an area designated as an economic development zone pursuant to Article 18-B of the General Municipal Law (Source: <https://esd.ny.gov/empire-zones-program>)?  Yes  No

If yes, explain:

\*\*Please attach narrative if space provided is not sufficient.

- G) Will the Project be in a census tract or block numbering area (or census tract or block numbering area contiguous thereto) which, according to the most recent census data, has (i) a poverty rate of at least 20% for the year in which the data relates, or at least 20% of households receiving public assistance, and (ii) an unemployment rate of at least 1.25 times the statewide unemployment rate for the year to which the data relates? (Source: United States Census Bureau <https://factfinder.census.gov/>)

Yes  No

If yes, explain:

\*\*Please attach narrative if space provided is not sufficient.



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## FEE SCHEDULE

### Application Fee:

**\$5,000 non-refundable, due at application, broken down as follows:**

IDA Administrative Fee: \$2,500

IDA Transaction Counsel Fee: \$2,500

### Labor Policy Monitoring Fee (based on project cost):

This fee will be deposited into a non-interest bearing escrow account and will fund the ongoing audit of Labor Policy compliance throughout construction. Any unused funds on deposit with the IDA will be returned to the company upon project completion.

Projects less than \$5M:	\$5,000.00
Projects greater than \$5M but less than \$15M:	\$10,000.00
Projects greater than \$15M but less than \$25M:	\$20,000.00
Projects greater than \$25M but less than \$50M:	\$30,000.00
Projects greater than \$50M but less than \$100M:	\$45,000.00
Projects greater than \$100M but less than \$500M:	\$55,000.00
Projects greater than \$500M:	To be determined

### Closing Fee:

#### **IDA Fee**

*\*\*Per OCIDA scoring criteria. See Attached.*

#### **Manufacturing Sector**

1% of the first \$2,000,000 of the project cost (as identified on page 12 of this application), plus .5% of amount above that, due at closing (total project cost includes land acquisition costs).\*

#### **Distribution/Warehouse Sector**

1% of the project cost (as identified on page 12 of this application), due at closing (total project cost includes land acquisition costs).\*

**Retail Sector - Stores**

485B: 2% of the first \$2,000,000 of the project cost (as identified on page 12 of this application), plus 1% of amount above that, due at closing (total project cost includes land acquisition costs).\*

**Retail Sector – Back Office/Medical**

10 year PILOT: 1% of the project cost (as identified on page 12 of this application), due at closing (total project cost includes land acquisition costs).\*

**Hotel Sector (Per Scoring Criteria)**

10 year PILOT: 1% of the project cost (as identified on page 12 of this application), due at closing (total project cost includes land acquisition costs).\*

4 year PILOT: 1% of the project cost (as identified on page 12 of this application), due at closing (total project cost includes land acquisition costs).\*

**Tourism Sector**

\$0-\$30M Capital Cost: 1% of the project cost (as identified on page 12 of this application), due at closing (total project cost includes land acquisition costs).\*

\$30-\$100M Capital Cost: .75% of the project cost (as identified on page 12 of this application), due at closing (total project cost includes land acquisition costs).\*

Over \$100M Capital Cost: .50% of the project cost (as identified on page 12 of this application), due at closing (total project cost includes land acquisition costs).\*

**“Special Projects”**

TBD per project

**IDA Transaction Counsel Fee:**

One-third (1/3) of IDA fee (minimum of \$30,000 – to be reduced for smaller projects on case by case basis - plus out of pocket expenditures).

**Local Labor Policy Monitoring:**

The IDA will use a third-party firm or firms to monitor compliance with the Local Labor Policy (attached hereto). All costs incurred by the IDA in connection with such monitoring, should they exceed the amount collected at application, shall be the responsibility of the Company.

**NOTE:** IDA reserves the right to seek additional IDA and Transaction Counsel fees for exceptionally complex/large transactions.

**Please make all Checks payable to:**

*Orange County Industrial Development Agency*

**Mail to:**  
4 Crotty Lane  
New Windsor, NY 12553

\*In the event that an applicant does not seek or does not qualify for an OCIDA PILOT or the equivalent of the State's 485-b program, the fee will be a straight one-half percent (0.5%) of the project cost.

The OCIDA Fee Schedule is the standard used when calculating all project fees. These fees are not open for negotiation. Please initial stating you understand and consent to the above \_\_\_\_\_

**Closing Fee:**

Please be advised should the Orange County IDA act to adopt the Final Resolution for your project a fee will be due at closing.

If at any time the project costs change prior to the Final Resolution, please inform management immediately for closing fee recalculation purposes.

Please initial stating you understand the foregoing, have provided accurate project costs, and consent to the estimated closing fee provided above \_\_\_\_\_



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**PROJECT SCORING CRITERIA**

To be completed/calculated by AGENCY

Project Name:

Score:

**1. Strategic Vision (0 OR 5)\*:**

- a. Does the project fit into preferred industry categories (manufacturing, industrial, medical, office, tourism)?
- b. Capitalizes upon un-or-under-employed, available talent pool?

**2. Ratable Value (Capital Expenditure) (0 – 5):**

- a. Investment in property resulting in increased ratables in municipality.
- b. Utilizes brownfield or otherwise “undesirable” parcel
- c. Return non-taxable property tax rolls
- d. “Brownfield remediation” would receive a 5

**3. Number of Jobs (1 – 5):**

- a. NOT sliding scale; relative to industry

**4. Quality of Jobs (0 – 5):**

- a. Defined as
- 0 = ANY jobs at minimum wage
- 1 = ALL jobs over \$15/hour
- 2 = 25% over \$25/hr plus benefits
- 3 = 50% over \$25/hr plus benefits
- 4 = 75% over \$25/hr plus benefits
- 5 = ALL jobs over \$25/hr plus benefits

**5. Location (1 OR 5):**

- a. 1 = In Orange County
- b. 5 = Designated growth zone, as identified by IDA (ex. Port Jervis, Highland Falls)

## 6. Desirability (0 – 5)\*:

- a. Does the project have local political support?
  - i. Support letter from Supervisor/Mayor
- b. Is there favor, locally, for the project?
- c. Is the project remediating a brownfield or repurposing a zombie property?
- d. Is the parcel located in federally distressed area?
- e. Has project construction already begun?

## TOTAL

*\* Speculative Buildings - identified as a project built with no end-user committed - results in an automatic 0 in these categories*

2-10 - Low/No PILOT

11-20 - Medium/Sector-based PILOT

21-30 - High/Qualifies for "Goliath" PILOT



*Empowering Businesses. Inspiring Growth.*

## **LABOR POLICY**

*Adopted 01-12-17*

The Orange County Industrial Development Agency (IDA) was established for the purpose of creating employment opportunities for, and to promote the general prosperity and economic welfare of the residents of Orange County. The IDA offers economic incentives and benefits to qualified applicants who wish to locate or expand their businesses or facilities in Orange County. When the IDA approves a project, it enters into agreements to extend these incentives and benefits to the applicant.

Construction jobs, though limited in time duration, are vital to the overall employment opportunities and economic growth in Orange County. The IDA believes that companies benefiting from its incentive programs should employ local laborers, mechanics, craft persons, journey workers, equipment operators, truck drivers and apprentices (hereinafter “construction workers”), including those who have returned from military service, during the construction phase of projects. In this way, the IDA can generate significant benefits to advance the County’s general prosperity. It is, therefore, the policy of the IDA that firms benefiting from its programs shall employ workers from Orange County and the “local labor” market during all project phases, including the construction phase.

For the purpose of this policy, the “local labor” market for construction workers shall be defined as those individuals living in Orange, Ulster, Sullivan, Dutchess, Putnam, Rockland and Westchester Counties. Applicants receiving IDA benefits shall ensure the contractor/developer hire at least 85% from the “local labor” market for their approved projects. The 85% shall be by contractor and in total at the time of completion of the project. The contractor/developer is mandated to keep daily log sheets of all field workers, commencing on the date of application. Any work performed after application shall be included in the determination of overall compliance with the 85% hiring requirements of this policy. A third-party auditing firm will be engaged to monitor construction work commencing on the date benefits are granted by resolution of the IDA Board.

However, the IDA recognizes that the use of local labor may not be possible for the following reasons and the applicant may request an exemption on a particular contract or trade scope for the following reasons:

1. Warranty issues related to installation of specialized equipment whereby the manufacturer requires installation by only approved installers;
2. Specialized construction is required and no local contractors or local construction workers have the required skills, certifications or training to perform the work;
3. Cost Differentials:
  - a. For projects whose project cost exceeds \$15M, significant cost differentials in bid prices whereby the use of local labor and materials significantly increases the sub contract or contract of a particular trade or work scope by at least 20%. Every reasonable effort should be made by the applicant and or the applicant’s contractor to get below the 20% cost differential including, but not limited to, communicating and meeting with local construction



- trade organizations, such as the Hudson Valley Building and Construction Trades Council and other local Contractor Associations;
- b. For projects whose project cost is less than \$15M, significant cost differentials in bid prices whereby the use of local labor and materials significantly increases the sub contract or contract of a particular trade or work scope by 10% or more. Every reasonable effort should be made by the applicant and or the applicant's contractor to get below the 10% cost differential including, but not limited to, communicating and meeting with local construction trade organizations, such as the Hudson Valley Building and Construction Trades Council and other local Contractor Associations;
4. No labor is available for the project; and
  5. The contractor requires key or core persons such as supervisors, foreman or "construction workers" having special skills that are not available in the "local labor" market.

**The request to secure an exemption for the use of non-local labor must be received from the applicant on the exemption form provided by the IDA or the 3<sup>rd</sup> party monitor and received in advance of work commencing.** The request will be reviewed by the 3<sup>rd</sup> party monitor and forwarded to the IDA, at which time the IDA's Audit Committee shall have the authority to approve or disapprove the exemption. The 3<sup>rd</sup> party monitor shall report each authorized exemption to the Board of Directors at its monthly meeting.

In addition, applicants receiving IDA benefits and Contractors on the project shall make every reasonable effort to utilize vendors, material suppliers, subcontractors and professional services from Orange County and the surrounding counties. Applicants and contractors shall be required to keep records of those local vendors, material suppliers, contractors and professional services whom they have solicited and with whom they have contracted with or awarded. This shall be stored in a binder on site and shall be easily available for review by an authorized representative of the IDA, such as the IDA's 3<sup>rd</sup> party monitor. It shall include any documents for solicitation and contracts. It is the goal of the County of Orange and the IDA to promote the use of local veterans on projects receiving IDA benefits. By partnering with local contractors, local contractor groups, local trade unions and contractors awarded work on IDA projects, there are opportunities for veterans to gain both short-term and long-term careers in the construction industry.

Once approved for IDA benefits, all applicants will be required to provide to IDA staff the following information:

1. Contact information for the applicant's representative who will be responsible and accountable for providing information about the bidding and awarding of construction contracts relative to the applicant's project;
2. Description of the nature of construction jobs created by the project, including in as much detail as possible, the number, type and duration of construction positions;
3. The names, contact information, certificate of authorization to do business in the State of New York and copies of current Certificates of NYS Workers' Compensation Insurance, NYS Disability Insurance, General Liability Insurance and proof of current OSHA training certification from all contractors' employees performing work on the site; and
4. A Construction Completion Report listing the names and business locations of prime contractors, subcontractors and vendors who have been engaged in the construction phase of the project.

All Orange County IDA projects are subject to local monitoring by the IDA and any 3<sup>rd</sup> party monitor. The applicant and/or the Construction Manager or General Contractor acting as agent for the applicant on the project, shall keep a log book on site detailing the number of workers, hours worked and counties and states in which they reside. Proof of residency or copy of drivers' license shall be included in the log book, along with evidence of necessary OSHA certifications. Reports will be on forms provided by the IDA or weekly payroll reports which contain the same information as required on the IDA issued form. The applicant and contractors are subject to periodic inspection or monitoring by the IDA or 3<sup>rd</sup> party monitor.

The 3<sup>rd</sup> party monitor shall issue a report to the IDA staff immediately when an applicant or applicant's contractor is not in compliance with this labor policy. IDA staff shall advise the Audit Committee and/or IDA Board of non-compliance by email or at the next scheduled meeting. If a violation of policy has occurred, IDA staff shall notify the applicant and contractor in writing of non-compliance and give applicant a warning of violation and 72 hours in which to correct such violation. Upon evidence of continued non-compliance or additional violations, the IDA and/or its 3<sup>rd</sup> party monitor shall notify the applicant that the project is in violation of the Orange County IDA Labor Policy and is subject to IDA Board action which may result in the revocation, termination and/or recapture of any or all benefits conferred by the IDA.

**The IDA will use a third party firm or firms to monitor and audit compliance with this local labor policy, the cost of which shall be paid for by the Company in advance of the audits and held in a non-interest bearing escrow account until audits are complete.**

The applicant of an IDA approved project shall be required to maintain a 4' X 8' bulletin board on the project site containing the following information:

1. Contact information of the applicant;
2. Summary of the IDA benefits received;
3. Contractors names and contact information on IDA provided form;
4. Copies of proof of exemption from labor policy;
5. Copies of any warnings or violations of policy;
6. Copy of the Executed Labor Policy.

The bulletin board shall be located in an area that is accessible to onsite workers and visitors, which should be clear and legible at least 10 feet from said board.

The applicant has read the OCIDA Labor Policy and agrees to adhere to it without changes and shall require its construction manager, general contractor and sub-contractors who are not exempt to acknowledge the same. The Applicant understands and agrees that it is responsible for all third-party auditing and monitoring costs.

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Signature of CM, GC or SC

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Print Name of above signer

\_\_\_\_\_  
Print Name of above signer

\_\_\_\_\_  
Email/phone of Applicant

\_\_\_\_\_  
Email/phone of CM/GC/SC

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

This building was purchased in 2006. The building was operating as a restaurant and short term living quarters for people upstairs. The building had a lot of history, and good bones but was run down, and due to the state of the building the people living there were constantly alerting the police department. The restaurant was closed for 6 months and underwent major renovations and was reopened 6 months later. It was very hard to get any of the tenants that were staying out of the building to do proper renovations. Slowly the rooms were rehabbed to an extent little by little room by room, but never to the extent that was desired. The restaurant has become a focal point in the Village hosting 100s of special events over the years. Being a fan of Goshen, and the hopeful growth the village will be experiencing over the next few years, it seems like a good time to take on this project.

Page 12- J

The restored history of the building itself will attract a certain type of customer that will ultimately stay and spend money in this area and Orange County as a whole. This building has hosted guests from the likes of George Washington to James Cagney, and people are drawn to history when there is proper allure. A full renovation that preserves the best parts of the building will do just that. People will come from other areas including New York City. People will come and stay in the hotel, and perhaps dine in the restaurant downstairs. Aside from that they will also want to go to shows, see local art, shop locally, attend local events, local restaurants. The continued growth of the surrounding area is beneficial to the inn as the flourishing of the inn is beneficial to the local area. When the Inn and restaurant are operating over 50 jobs will be created benefitting local people.

M

NAICS Codes:

Hotel: 721110

Restaurant: 722511

Small Convention Center: 561920

Though the project in some capacity will be able to move on without financial incentives, it will be brought to its full potential with the incentives. With the help of the IDA, we will be able to employ more people, which will create a better business structure, and allow more money to flow through the building make it nicer, and allowing there to be a bit less risk for a permanent fixture in the Village.

Page 18-B  
 Salary & fringe benefits for jobs to be created

Category of Jobs to be Created	# of Jobs Year 1	# of Jobs Year 2	# of Jobs Year 3	Average Salary or Salary Range	Average Fringe Benefit or Range of Fringe Benefits
Management	2	0	0	31,200-52,000	Health insurance/401k
Professional	3	0	1	52,000-65,000	Health insurance/401k
Administrative	3	0	2	28,000-32,000	Health insurance/401k
Cooks/Kitchen Help	9	0	2	25,000-54,000	Health insurance/401k
Cleaning/Housekeeping	5	0	2	23,000-30,000	Health insurance/401k
Restaurant Servers/Bussers, etc.	5	1	1	15,000-20,000	Health insurance/401k

B part 2

Continued from Salaries of jobs to be created- If there is a salary range larger than \$20,000 in a category please provide additional information below:

Management: approximately \$25/hour

Chef: approximately: \$25/ hour

Line Cook: approximately \$20/hour

Concierge/Housekeeper: approximately \$15/hour

Host/ Coat Check/ Greeters: approximately \$14.50/hour & up

All of these salaries are flexible and will increase depending on the success of the inn & restaurant.

C

Salary & fringe benefits for jobs to be retained

Category of Jobs to be Created	Current # of Jobs	Average Salary or Salary Range	Average Fringe Benefit or Range of Fringe Benefits
Management	2	40,000-50,000	N/A
Professional	1	40,000	N/A
Administrative	2	25,000-35,000	N/A
Cooks/Kitchen Help	2	30,000-40,000	N/A
Cleaning/Housekeeping	0	0	N/A
Restaurant Servers/Bussers, etc.	5	15,500-20,000	N/A

If there is a salary range larger than \$20,000 in a category please provide additional information below:

Management: approximately \$25/hour

Chef: approximately: \$25/ hour

Line Cook: approximately \$20/hour

Concierge/Housekeeper: approximately \$15/hour

Host/ Coat Check/ Greeters: approximately \$14.50/hour & up

All of these salaries are flexible and will increase depending on the success of the inn & restaurant

D

Hiring Plan

Hiring will start immediately, and the work search will continue steadily for the perfect employees. The timing will speed up as we need to add employees based on the business.

F: Describe internal training and advancement opportunities offered to employees:

All non-managerial employees will have the opportunity to advance, or at least be given the tools to advance after 6 months of satisfactory job performance in their current position. We will allow job shadowing and open discussions with employees wanting to advance. Where warranted, employees will receive full training and when possible, we will hire and advance from within.



# ADDITIONS & ALTERATIONS TO THE: LIMONCELLO 159 - 167 MAIN STREET, GOSHEN, NY

## MINIMUM SPECIFICATIONS

### GENERAL NOTES

- NO DRAWINGS ARE TO BE SCALED, USE DIMENSIONS ONLY.
- THE OWNER IS TO OBTAIN AND PAY FOR ALL LOCAL PERMITS. NO WORK IS TO COMMENCE UNTIL ALL PERMITS ARE OBTAINED.
- THE OWNER OR SITE ENGINEER MUST VERIFY THAT THIS DWELLING IS NOT LOCATED IN A FLOODWAY AS DEPICTED IN THE LATEST TOWN PLAN, MAP.
- THE CONTRACTOR IS TO VISIT THE SITE AND TO THOROUGHLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS, TO CHECK AND VERIFY ALL CONDITIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL REVIEW THE PLANS AND VERIFY ALL MATERIALS, DIMENSIONS AND CONDITIONS AND SHALL REPORT ANY ERRORS, OMISSIONS, VARIATIONS, DIFFERENCES OR DISCREPANCIES FROM INTENT OF THE PLANS TO THE ARCHITECT PRIOR TO THE START OF WORK.
- ALL CHANGES OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
- ALL WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN, AND THE CONTRACTOR SHALL NOT AVOID HIMSELF OF ANY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST.
- ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE, SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
- ALL WORK IS TO BE EXECUTED BY MECHANICS SKILLED IN THEIR TRADE.
- ALL TRADES TO COOPERATE WITH EACH OTHER TO FACILITATE THE PROGRESS OF THE ENTIRE JOB.
- CONTRACTOR IS TO PROTECT THE PUBLIC AND PREMISE DURING THE PERIOD OF THE CONSTRUCTION WITH ADEQUATE SHORING, BRACING, FENCING, LIGHTING, ETC..
- CONTRACTOR IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROCESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.
- THE ARCHITECT CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- IN THE EVENT OF CONFLICTS OF PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE.
- ALL CONSTRUCTION IS TO CONFORM WITH APPLICABLE CODES, ORDINANCES, ETC., INCLUDING THE 2020 BUILDING CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERAL ACCEPTED STANDARDS.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE, NOR SHALL THEY BE IN EXCESS OF DESIGN LOADS INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY THE CONTRACTOR.
- THE ARCHITECT SHALL BE THE FINAL JUDGE OF THE QUALITY OF WORKMANSHIP, AND RESERVES THE RIGHT TO BE OBJECTIVE AND CONSIDERS NEUTRAL.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS, WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR GENERALLY EQUALS, WHICH MEET ACCEPTABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- ALL PLUMBING AND MECHANICAL WORK SHALL CONFORM TO THE 2020 BUILDING CODE OF NEW YORK STATE, 2020 PLUMBING CODE OF NEW YORK STATE & 2020 MECHANICAL CODE OF NEW YORK STATE, AND LOCAL BUILDING CODES APPLICABLE TO PLUMBING AND MECHANICAL WORK. ALL PLUMBING AND MECHANICAL WORK SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 2014 AND ANY OTHER LOCAL CODES OR ORDINANCES HAVING JURISDICTION. A LICENSED ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL WORK AND ALL PERMITS REQUIRED.
- THE CONTRACTORS SCHEDULE OF WORK SHALL BE ESTABLISHED IN COOPERATION WITH AND APPROVAL OF THE OWNER.
- THE CONTRACTOR SHALL CARRY A MINIMUM OF \$1,000,000.00 (ONE MILLION DOLLARS) LIABILITY INSURANCE AND PROVIDE WORKER'S COMPENSATION TO HIS EMPLOYEES.
- BUILDING STRUCTURES, AND ALL PARTS THEREOF SHOWN ON THESE PLANS HAVE BEEN DESIGNED TO SAFELY SUPPORT ALL LOADS INCLUDING DEAD, LIVE, ROOF, SNOW, WIND, AND SEISMIC LOADS AS PRESCRIBED BY THE 2020 BUILDING CODE OF NEW YORK STATE.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID ...  
A. IF ALTERED  
B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED  
C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDING WITH THESE DRAWINGS, THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.

- ### CONCRETE AND FOUNDATIONS
- ALL EXTERIOR WALL FOOTINGS SHALL EXTEND TO UNSATURATED DRY SOIL, AND IN ALL CASES SHALL BE A MINIMUM OF 4'-0" BELOW THE ADJACENT GRADE.
  - NO TRUCKS OR HEAVY MACHINERY SHALL BE PERMITTED CLOSER THAN 6'-0" FROM ANY FOUNDATION WALL.
  - LOAD BEARING CAPACITY OF THE SOIL IS ASSUMED TO BE 2000 PSF FOR FOOTING DESIGN UNLESS OTHERWISE NOTED.
  - THE SAFE SLOPE FROM VERTICAL TO 3 HORIZONTAL SHALL BE MAINTAINED BETWEEN THE EDGE OF FOOTING TO ANY EXCAVATION LEVEL LOWER THAN THE FOOTING.
  - COORDINATE THE LAYOUT AND ELEVATIONS OF ALL UNDERGROUND UTILITIES BEFORE PLACEMENT OF THE FOOTING.
  - CONTINUOUS FOOTINGS WHERE SHOWN, MAY BE STEPPED AS REQUIRED, BUT NOT MORE THAN 1'-0" VERTICALLY TO 4'-0" HORIZONTALLY.

### CONCRETE AND FOUNDATIONS CONTINUED

- CONCRETE SHALL HAVE THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT THE END OF 28 DAYS:  
SLAB ON GRADE 3,500 PSI  
FOUNDATIONS 3,500 PSI  
MASONRY MORTAR 5,000 PSI TYPE 'M'  
SIDE WALLS 4,000 PSI
- ALL CONCRETE WORK AND DETAILS SHALL CONFORM TO THE LATEST EDITION OF THE 'BUILDING CODE' REQUIREMENTS FOR CONCRETE OF THE AMERICAN CONCRETE INSTITUTE (ACI 318-77).
- ALL FOUNDATION WALLS AND SLABS IN CONTACT WITH THE EARTH TO BE FINISHED WITH AN "ANTHYDRO" ADMIXTURE AS PER MANUFACTURER'S SPECIFICATIONS.
- MINIMUM CONCRETE PROTECTION OF REINFORCING SHALL BE 3/4" IN SLABS, 1 1/2" IN WALLS, 3" IN FOOTINGS AND 2" FOR CONCRETE WORK EXPOSED TO EARTH, FILL OR WEATHER.
- CONCRETE FOR SIDE WALLS, INTERIOR PADS, STAIRS, ETC., SHALL BE 4,000 PSI STONE CONCRETE ENTRAINED WITH 4% AIR MINIMUM.
- NO ADMIXTURES ARE PERMITTED IN CONCRETE IF NOT PART OF THE MIX DESIGN.
- ALL SLABS ON GRADE ARE TO BE POURED IN PANELS NOT TO EXCEED 1,200 SQUARE FEET IN AREA.
- CONCRETE SHALL BE PROTECTED FROM FREEZING DURING COLD WEATHER PLACEMENT. LEAVE FORMS IN PLACE AT LEAST 5 DAYS WHEN OUTDOOR TEMPERATURE IS BELOW FREEZING. SEE FOLLOWING NOTES FOR REQUIRED ADDITIVES.
- CONCRETE FOR BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS. DURING COLD WEATHER PLACEMENT PROVIDE 3,500 PSI CONCRETE WITH AIR ENTRAINMENT AS PER ABOVE.
- CONCRETE FOR BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS. DURING COLD WEATHER PLACEMENT PROVIDE AIR ENTRAINMENT AS PER ABOVE.
- CONCRETE FOR PORCHES, STEPS, CARPORT AND GARAGE SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS. DURING COLD WEATHER PLACEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAY CURE AND BE AIR ENTRAINMENT AS MENTIONED ABOVE. THE MATERIALS FOR PRODUCING AND TESTING THE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318.
- WIDTH AND THICKNESS OF FOOTINGS AND REINFORCING FOR SAME SHALL BE AS SHOWN ON DRAWINGS AND AS DETAILED THEREON. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE 2" FOR BARS, 3" FOR CONCRETE POURED ON GROUND AND 5/4" FOR CONCRETE NOT IN CONTACT WITH GROUND.
- FLOOR SLABS SHALL BE OF THICKNESS SHOWN ON DRAWINGS INSTALLED OVER COMPACTED FILL AND POLYETHYLENE VAPOR BARRIER AND REINFORCED WITH 6 X 10 / 10 WELDED WIRE MESH FABRIC AT MID-DEPTH OF SLAB UNLESS SHOWN OTHERWISE. TAPER SLABS TO FLOOR DRAINS WHERE SHOWN AND REQUIRED.
- ALL CONCRETE SLABS SHALL BE PROVIDED WITH 1/2" PRE-INSULATED PERIMETER INSULATION JOISTS AND SHALLOU CONSTRUCTION JOISTS AT PATTERNS COMPATIBLE WITH INTERIOR COLUMN LOCATIONS. PATTERNS SHALL NOT EXCEED 20 FEET SQUARE.
- REINFORCING STEEL SHALL BE NEW BILLET STEEL, DEFORMED TYPE BARS, A.S.T.M. A615, GRADE 60, AND SHALL COMPLY WITH A.C.I. CODE REQUIREMENTS. PROVIDE MINIMUM REINFORCING IN ALL CONCRETE WHERE NONE IS SHOWN ON DRAWINGS TO MEET A.C.I. CODE REQUIREMENTS. PROVIDE ADDITIONAL REINFORCING AROUND ALL OPENINGS IN CONCRETE, AND PROVIDE VERTICAL AND / OR HORIZONTAL BARS PROJECTING FROM FOOTINGS AND WALLS FOR TYPING IN WITH OTHER WALLS, PERS, SLLS, ETC., AS DETAILED ON DRAWINGS AND AS REQUIRED BY THE CONSTRUCTION.
- DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL MASONRY CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO SUPPORT SAME. PROVIDE TEMPORARY BRACING AS REQUIRED AND PROTECT TOPS OF WALLS FROM DAMAGE BY VEHICLES CROSSING OVER SAME. REMOVE AND REPLACE ALL DAMAGED CONCRETE AS DIRECTED.
- ALL CONCRETE SLABS EXPOSED TO THE WEATHER CONDITIONS SHALL HAVE A NON-SKID SURFACE FINISH.
- PROVIDE 4" DIA. PERFORMED FOOTING DRAIN AROUND ENTIRE PERIMETER OF FOUNDATION. INSTALL PIPE IN CIRCLED STONE BED EXTENDING A MINIMUM OF 12" BEYOND THE OUTSIDE EDGE OF THE FOOTING. SET PIPE ON A MINIMUM OF 2" THICK BED OF STONE AND COVER PIPE TO A MIN. HEIGHT OF 6" ABOVE THE TOP OF FOOTING. COVER ENTIRE ASSEMBLY WITH AN APPROVED FILTER MEMBRANE MATERIAL. DISCHARGE BY GRAVITY TO DRAINAGE.

### REINFORCING

- ALL REINFORCING STEEL SHALL BE PERFORMED BARS OF NEW BILLET STEEL, CONFORMING TO THE REQUIREMENTS ASTM A-615, Grade 60.
- ALL WELDED WIRE MESH SHALL BE FABRICATED IN ACCORDANCE WITH ASTM A-82 AND A-185.
- WHERE OPENINGS OCCUR IN WALLS OR SLABS, UNLESS SHOWN OTHERWISE, PROVIDE TWO (2) NO. 6 BARS, BOTH FACES ON ALL SIDES OF OPENING AND EXTEND 2'-0" BEYOND THE FACE OF THE OPENING.

### CONCRETE MASONRY UNITS

- ALL CONCRETE BLOCK IS TO BE REINFORCED WITH 60# WALL TIES EVERY OTHER COURSE HEIGHT MASONRY REINFORCING AS FOLLOWS: BELOW GRADE EVERY OTHER COURSE, TOP TWO (2) COURSES ABOVE GRADE EVERY 8" AND TOP TWO (2) COURSES. PROVIDE PREFABRICATED CORNERS AND TEES OVERLAP A MINIMUM OF 24".  
ASTM C-270 TYPE 'M'
- CONCRETE BLOCK - HOLLOW CORE, LOUVERED BEARING UNIT MASONRY ASTM C-90, TYPE 'H' CEMENT GROUT, ASTM C-476
- FILL ALL BEAM POCKETS SOLID AFTER STEEL IS PLACED AND ANCHORED.
- ALL CONCRETE BLOCK CORERS WITH VERTICAL REINFORCING ARE TO BE GROUTED SOLID FROM FOOTING TO TOP OF WALL. OVERLAP ALL REINFORCING A MINIMUM OF 12".

### WOOD AND TRUSSES

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE TO NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENING BY THE APPA. USE CONSTRUCTION DETAILS AND MINIMUM NAILING SEQUENCE AS REQUIRED BY THE 2020 BUILDING CODE OF NEW YORK STATE.
- ALL STRUCTURAL LUMBER SHALL CONFORM TO THE FOLLOWING MINIMUM STRENGTH REQUIREMENTS: BEAMS, JOISTS AND WALL PLATES FB-1,200 PSI; 1.4 x 10 (6) PSI; STUDS AND POSITS FC-925 PSI; PV-75 PSI; E-1,2, x 10 (6) PSI.
- ALL PLYWOOD FOR FLOOR AND ROOF SHEATHING SHALL BE INSTALLED IN ACCORDANCE WITH ALL PLYWOOD LATEST EDITION (GLUE, NAIL, ALL FLOOR AND ROOF SHEATHING TO FLOOR AND ROOF TRUSSES).
- DRAWING LUMBER, INCLUDING STRUCTURAL JOISTS, PLANKS AND 2 X 4 STUDS TO BE NO. 2 SPF AS GRADED IN ACCORDANCE WITH THE LATEST EDITION OF THE GRADING RULES FOR WESTERN LUMBER, WITH A MINIMUM EXTREME FIBER STRESS IN BENDING OF 1,000 PSI AND MODULES OF ELASTICITY OF 1,300,000 PSI. EQUAL FRAMING LUMBER WITH CERTIFIED STRESSES WILL BE APPROVED. LUMBER TO BE AS GRADED.

### WOOD AND TRUSSES CONTINUED

- SUB-FLOORING SHALL BE OSB STRUCTURAL PANELS, 3/4" THICK, TONGUE & GROOVE, APA AND HD / FHA GRADED AND APPROVED. SUB-FLOORING SHALL BE GLED AND NAILER WITH EXTERIOR GLE AND NING NAILS AT ALL BEARING POINTS. ROOF SHEATHING SHALL BE 1/2" THICK PLYWOOD, APA AND HD / FHA GRADED AND APPROVED. EXTERIOR WALL SHEATHING SHALL BE 1/2" THICK PLYWOOD OR OSB STRUCTURAL PANELS, APA AND HD / FHA GRADED AND APPROVED.
- PRE-ENGINEERED WOOD ROOF TRUSSES SHALL BE DESIGNED AND CERTIFIED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER. THE TRUSSES SHALL BE DESIGNED TO SUPPORT THE LIVE LOADS, DEAD LOADS, WIND LOADS AND OTHER DESIGN REQUIREMENTS AS MENTIONED IN THE CLIMATE AND GEOGRAPHIC DESIGN CRITERIA INCLUDED WITH THESE PLANS. DESIGNS SHALL CONTAIN DATA ON METAL CONNECTORS, LUMBER SPECIFICATIONS, PITCH, SPAN AND SPACING, SPECIES AND STRESS GRADE OF LUMBER, ETC. SUBMIT SHOP DRAWINGS OF TRUSSES IN FOUR COPIES FOR THE ARCHITECT'S APPROVAL BEFORE ORDERING SAME.
- MISCELLANEOUS LUMBER INCLUDING BLOCKING, GIRDERS, FLOORING AND FOR THEREON, PROVIDE ALL MISCELLANEOUS CARPENTRY AND LUMBER AS REQUIRED, WHETHER SPECIFICALLY SHOWN OR NOT.
- UNLESS OTHERWISE NOTED PROVIDE:  
A. DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.  
B. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, EXCEPT PARALLEL PLUMBING WALLS.  
C. DOUBLE 2 X 10 HEADERS OVER ALL DOOR AND WINDOW OPENINGS.  
D. SINGLE ROW OF 1 X 6 CROSS BRIDGING PER JOIST SPAN.  
E. SOLID WOOD BLOCKING BELOW ALL HEADERS, BEAMS, AND LINTELS.

### THERMAL & MOISTURE PROTECTION

- ASPHALT ROOF SHINGLES SHALL BE SELF STRIPS OR BE INTER LOCKING AND COMPLY WITH ASTM D 225 OR 2462. SHINGLES SHALL BE SECURED TO ROOF WITH NOT LESS THAN 4 FASTENERS PER STRIP SHINGLE, UNLESS IN A SPECIAL WIND ZONE AS NOTED IN THE CLIMATE & GEOGRAPHIC DESIGN CRITERIA ON DRAWING. A 2. SPECIAL WIND ZONES REQUIRE 6 FASTENERS PER STRIP SHINGLE. FASTENERS SHALL BE GALV. STEEL, MINIMUM 1/2 GA. SHANK WITH A MINIMUM 5/8" DIAMETER HEAD, UNLESS THE SHINGLE MANUFACTURER SPECIFIES MORE WHERE THE ROOF SLOPE EXCEEDS 20.12 SPECIAL METHODS OF FASTENING ARE REQUIRED. CONSULT WITH SHINGLE MANUFACTURER.
- ALL ROOFS, VALLEYS AND WALL TO ROOF INTERSECTIONS SHALL BE FLASHED AND CALLED WATERPROOF. WHERE ROOFS SLOPE FROM 2:12 TO 4:12 UNDERLAMENT SHALL BE 2 LAYERS OF FELT APPLIED WITH A 19" STRIP PARALLEL WITH AND STARTING AT THE EAVES FASTENED TO HOLD IN PLACE. THEN STARTING AT EAVE APPLY 56" WIDE SHEET AND OVERLAPPING SUCCESSIVE SHEETS 19" AND FASTENED SUFFICIENTLY TO HOLD IN PLACE. FOR ROOF SLOPES OF 4:12 OR GREATER, UNDERLAMENT FELTS SHALL BE APPLIED SHINGLE FASHION STARTING FROM AND PARALLEL TO THE EAVE AND LAPPED 2" FASTENED SUFFICIENTLY TO HOLD IN PLACE. ENDLAPS SHALL BE OFFSET BY 6 FEET.
- EXCEPT WHERE REQUIRED TO BE WATERPROOFED, EXTERIOR BELOW GRADE DAMPROOFING ON CONCRETE WALLS SHALL EXTEND FROM TOP OF FOOTING TO FINISHED GRADE DAMPROOFING SHALL BE AN APPROVED BITUMINOUS COATING.
- INSTALL ALL INSULATIONS AND VAPOR BARRIERS IN ACCORDANCE WITH 2020 BUILDING CODE OF NEW YORK STATE, EXCEPT WHERE OTHERWISE SPECIFIED, INSTALL ALL BATT INSULATION IN ACCORDANCE WITH HEIGHTS, SPECIFICATIONS. INSULATE BUILDING TO COMPLETELY SEPARATE HEATED SPACES FROM UNHEATED SPACES. SEAL ALL JOISTS AROUND EXTERIOR WINDOWS, DOORS, AND OTHER PENETRATIONS. INSULATION MATERIALS INCLUDING FACINGS SHALL HAVE A PLANE SPREAD INDEX NOT TO EXCEED 29 AND A SMOKE DEVELOPED INDEX NOT TO EXCEED 450.

### PLUMBING & HEATING

- ALL PLUMBING & HEATING WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE, 2020 PLUMBING CODE OF NEW YORK STATE & 2020 MECHANICAL CODE OF NEW YORK STATE.
- ALL APPLIANCES SHALL HAVE PERMANENT FACTORY APPLIED NAMEPLATES AFFIXED TO EA. APPLIANCE ON WHICH SHALL APPEAR MANUFACTURER'S NAME OR TRADEMARK, THE MODEL NUMBER, SERIAL NUMBER, AND THE SEAL OR MARK OF THE TESTING AGENCY.
- ALL PLUMBING WORK SHALL BE INSPECTED BY ANY LOCAL OR STATE BUILDING OFFICIAL HAVING JURISDICTION.
- DO NOT RUN PIPES IN UNHEATED SPACES. KEEP ALL PIPES ON HEATED SIDE OF INSULATION.
- AIR ADMITTANCE VALVES SHALL NOT BE USED UNLESS OTHERWISE NOTED ON PLANS.
- PROVIDE ALL SCALD PROTECTION VALVES, RELIEF VALVES, PRESSURE RELIEF VALVES, AND TEMPERATURE RELIEF VALVES AS PER THE PLUMBING SECTION OF 2020 PLUMBING CODE OF NEW YORK STATE.

### ELECTRIC

- ALL ELECTRIC WORK AND GENERAL EQUIPMENT REQUIREMENTS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE AND THE 2020 MECHANICAL CODE OF NEW YORK STATE.
- ALL ELECTRIC WORK SHALL BE INSPECTED AND APPROVED BY A LICENSED UNDERWRITER OFFICIAL.
- PROTECTION AGAINST DECAY AND TERMITES  
ALL WOOD USED IN AREAS SPECIFIED BELOW SHALL BE APPROVED PRESURE PRESERVATIVELY TREATED SUCH AS WOOD IN CONTACT WITH GROUND SUPPORTING PERMANENT STRUCTURES, JOISTS CLOSER THAN 18" TO GROUND, SILL PLATES CLOSER THAN 8" TO GROUND, PLATES FASTENED TO CONCRETE IN CONTACT WITH GROUND, EXTERIOR WOOD SIDING, SHEATHING OR WALL FRAMING LESS THAN 6" FROM GROUND, WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO WEATHER OR WOOD ATTACHED TO MASONRY OR CONCRETE WITHOUT AN APPROVED VAPOR BARRIER.
- TERMITES PROTECTION SHALL BE PROVIDED EITHER BY TREATMENT OF SOILS BY APPROVED CHEMICALS, USE OF PRESURE PRESERVATIVELY TREATED WOOD AS MENTIONED ABOVE, USE OF METAL OR PLASTIC TERMITES SHELDS, OR ANY COMBINATION OF THE ABOVE.

### FINISHES

- ALL WALL AND CEILING FINISHED SHALL HAVE A FLAME SPREAD CLASS OF NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
- ALL GYPSUM BOARD TO BE OF TYPE AND THICKNESS SHOWN IN DRAWINGS, TAPER, SPARKLED (5 COATS) AND PAINTED 2 COATS TO FORM A SMOOTH, UNIFORM WALL FINISH. GYPSUM BOARD SHALL BE SCREW APPLIED, FOLLOWING THE SPECIFICATIONS OF UNITED STATES GYPSUM PRODUCTS.
- ALL CERAMIC TILE SHALL BE PROPERLY INSTALLED USING THICK OR THIN SET METHOD FOLLOWING THE SPECIFICATIONS OF THE NATIONAL TILE COUNCIL OF AMERICA.
- ALL VINYL FLOOR SYSTEMS SHALL BE INSTALLED UNDER AN APPROVED UNDERLAMENT MATERIAL AS APPROVED BY THE TILE MANUFACTURER. INSTALL VINYL IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

### LIST OF DRAWINGS

A-1	SPECIFICATIONS, SYMBOL LEGEND, DRAWING LIST & CODE ANALYSIS
A-2	TYPICAL NOTES & SCHEDULES
A-3	EXISTING CONDITIONS PLANS
A-4	EXISTING CONDITIONS ELEVATIONS
A-5	PROPOSED BASEMENT / FOUNDATION PLAN & FOUNDATION DETAILS
A-6	PROPOSED FIRST FLOOR PLAN
A-7	PROPOSED SECOND FLOOR PLAN
A-8	PROPOSED THIRD FLOOR PLAN
A-9	PROPOSED FOURTH FLOOR PLAN
A-10	PROPOSED ELEVATIONS
A-11	SECTION 'A-A', 'B-B', 'C-C' & DETAILS
A-12	FRAMING PLANS
A-13	ROOF FRAMING PLANS & ROOF PLAN
A-14	STAIR #1 DETAILS
A-15	STAIR #2 DETAILS
A-16	ACCESSIBILITY NOTES
E-1	FIRST FLOOR ELECTRICAL PLAN
E-2	SECOND FLOOR ELECTRICAL PLAN
E-3	THIRD FLOOR ELECTRICAL PLAN
E-4	FOURTH FLOOR ELECTRICAL PLAN

### BUILDING CODE ANALYSIS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA  
CLIMATE ZONE 5

GROUND PROXIMITY	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE		WIND RESISTANCE	ICE BARRIER REQUIRED	FLOOD HAZARDS	FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	EXPOSURE EFFECT		REPAIRING	PROTECTIVE					
CS-50	115	NO	1	NO	NO	40	NO	NO	1500	45

CODES USED:

- 2020 BUILDING CODE OF NEW YORK STATE
- 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
- 2020 FIRE CODE OF NEW YORK STATE
- 2020 PLUMBING CODE OF NEW YORK STATE
- 2020 MECHANICAL CODE OF NEW YORK STATE
- 2020 FUEL GAS CODE OF NEW YORK STATE
- 2020 EXISTING BUILDING CODE OF NEW YORK STATE (WHEN APPLICABLE)

CONSTRUCTION DOCUMENTS - AND OTHER SUPPORTING DATA SHALL BE SUBMITTED IN ONE OR MORE SETS WITH EACH APPLICATION FOR PERMIT. THE CONSTRUCTION DOCUMENTS PREPARED BY A NEW YORK STATE REGISTERED ARCHITECT AND WILL COMPLY WITH THE 2020 BUILDING CODES OF NEW YORK STATE STATED ABOVE.

### SYMBOL LEGEND

EARTH	RIGID INSULATION
GRANULAR FILL	FIBERGLASS BATT INSULATION
CONCRETE	DIMENSIONAL LUMBER
CONCRETE MASONRY UNITS (CMU)	FINISH WOOD
FIELDSTONE / BLUESTONE	PLYWOOD
BRICK	GYPSUM BOARD (GWB)
CRITICAL ELEVATION	METAL FLASHING
WINDOW KEY	DOOR KEY
DETAIL NO. / WALL SECTION NO. SHEET NO.	BUILDING SECTION NO. SHEET NO.

SQUARE FOOTAGE	
FIRST FLOOR	7,585
SECOND FLOOR	7,170
THIRD FLOOR	7,195
FOURTH FLOOR	6,168
TOTAL	27,918

THESE PLANS HAVE BEEN DESIGNED FOR A COMMERCIAL BUILDING. ANY CHANGES TO EXTERIOR SITE GRADING AND / OR ADDITIONS OR RENOVATIONS TO STRUCTURE NOW OR IN THE FUTURE SHALL MEET THE REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE.

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID ERRORS, OMISSIONS, AND MISTAKES, THERE IS NO GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR AND / OR CLIENT SHALL VERIFY ALL CONDITIONS, DIMENSIONS, DETAILS, AND SPECIFICATIONS AND BE RESPONSIBLE FOR THE SAME. THE DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION BEGINS.

RELEASED FOR PLANNING BOARD - JUNE 16, 2020  
RELEASED FOR CONSTRUCTION - JULY 10, 2020

**IRACELLO ARCHITECTURE**  
60 MAIN STREET, SUITE #3B  
WARWICK, NEW YORK 10990  
P-845-9888-0198  
F-845-9888-0298

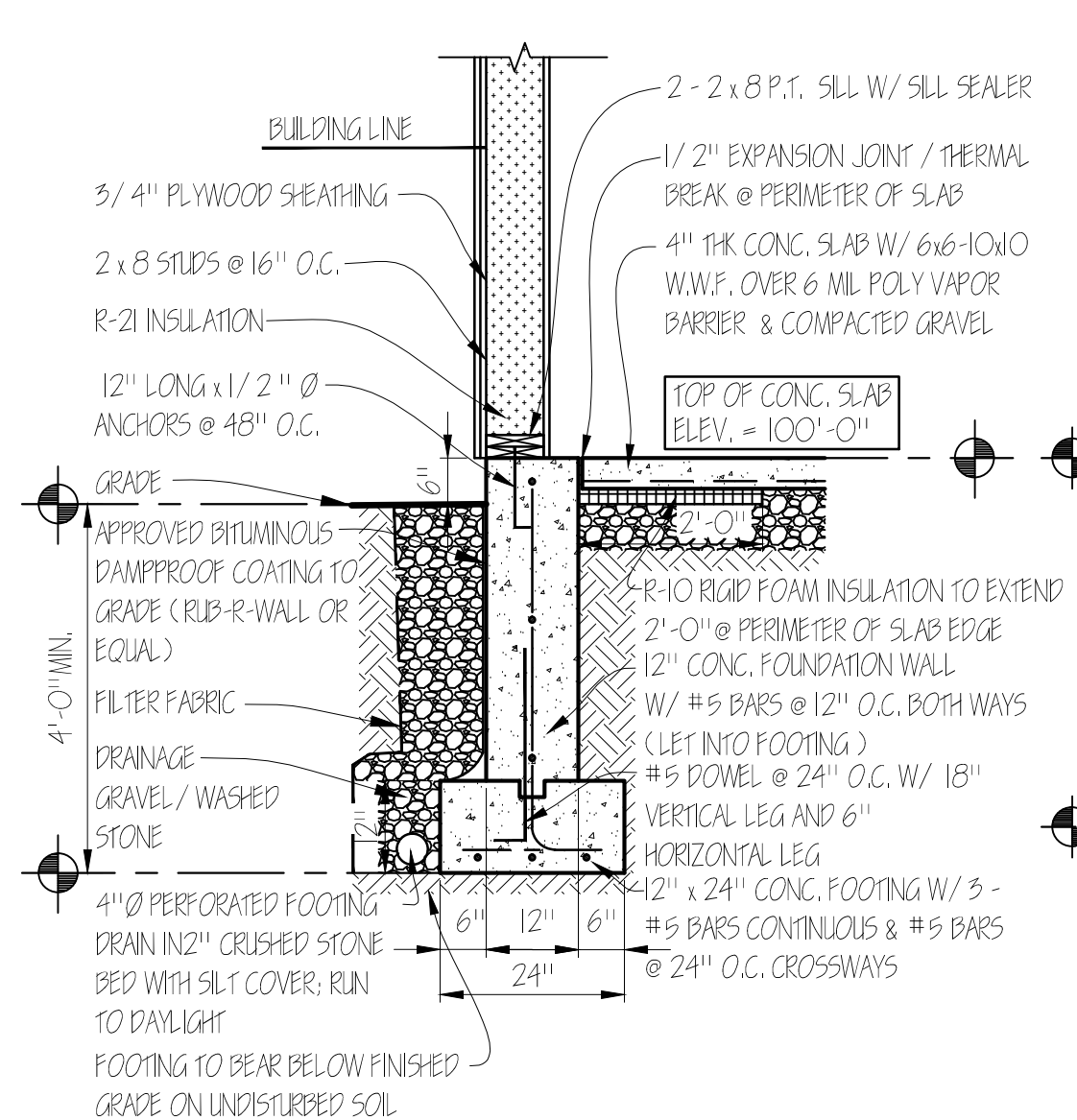
ALTERATIONS TO:  
**LIMONCELLO**  
159 - 167 MAIN STREET, GOSHEN, NY  
SPECIFICATIONS, LEGEND & DRAWING LIST

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. REPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS. ANY USE OR REPRODUCTION IN WHOLE OR PART WITHOUT WRITTEN AUTHORIZATION FROM JOSEPH IRACELLO IS STRICTLY PROHIBITED.

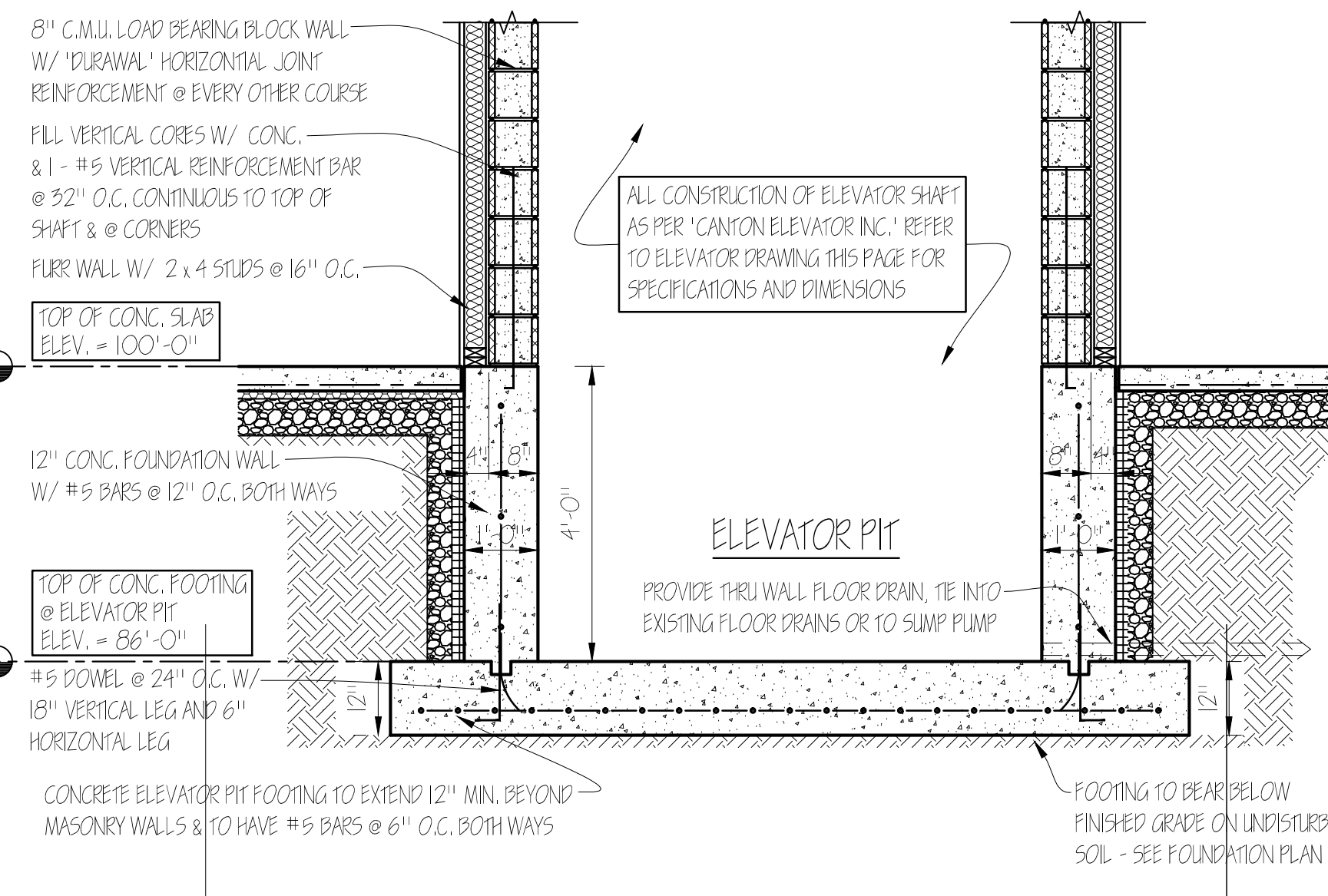
DESIGN BY  
KIMBER KILMER  
DATE  
JULY 10, 2020  
SCALE  
AS NOTED

# A-1

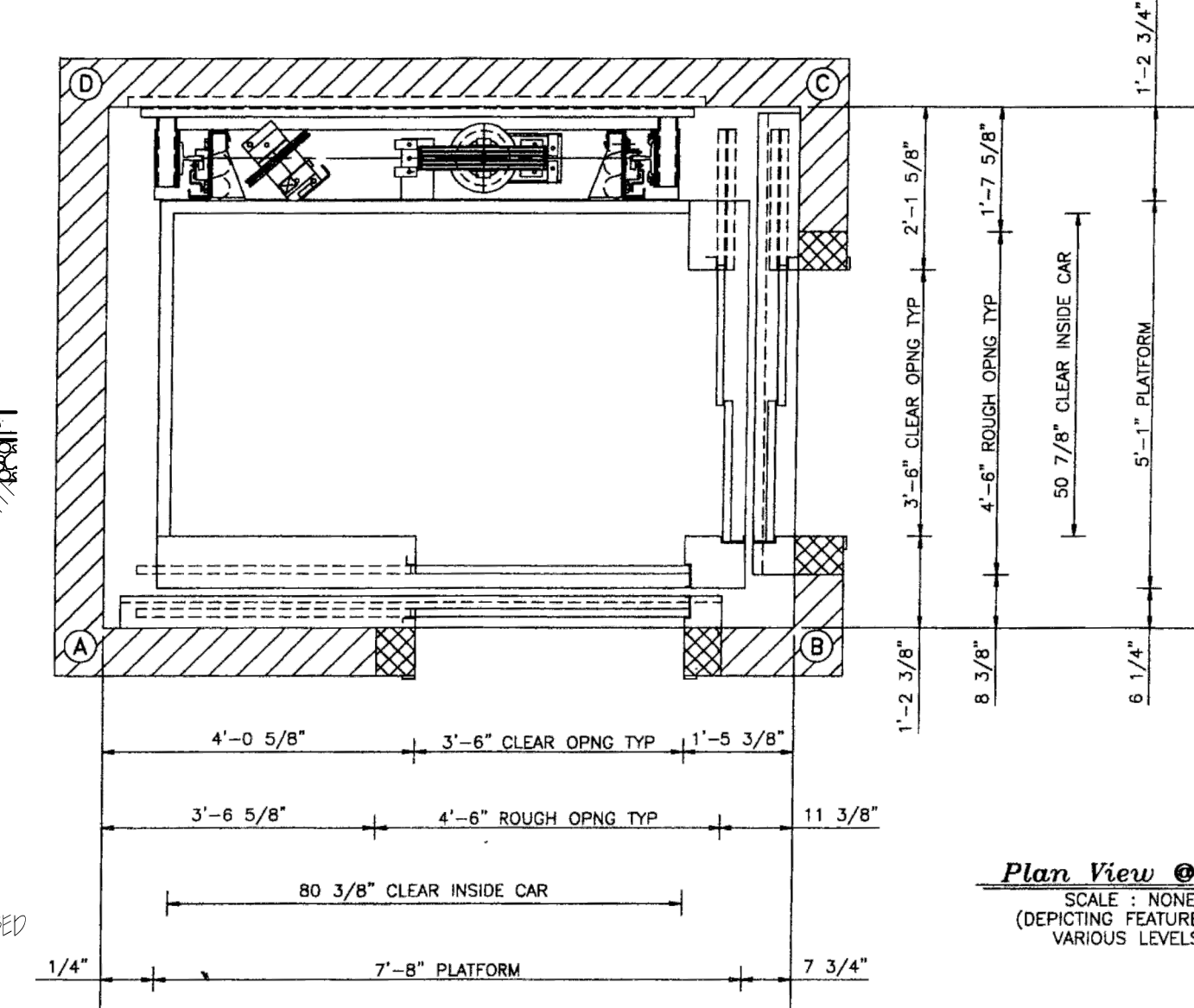




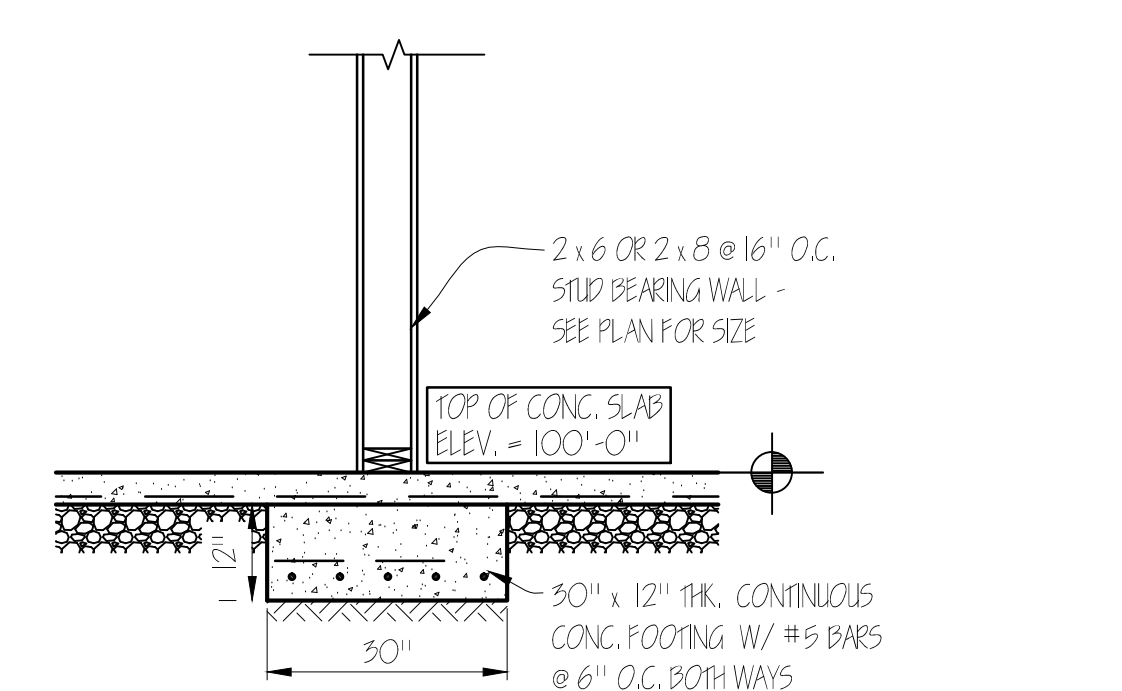
**A FROST WALL DETAIL**  
A-5 SCALE 1/2" = 1'-0"



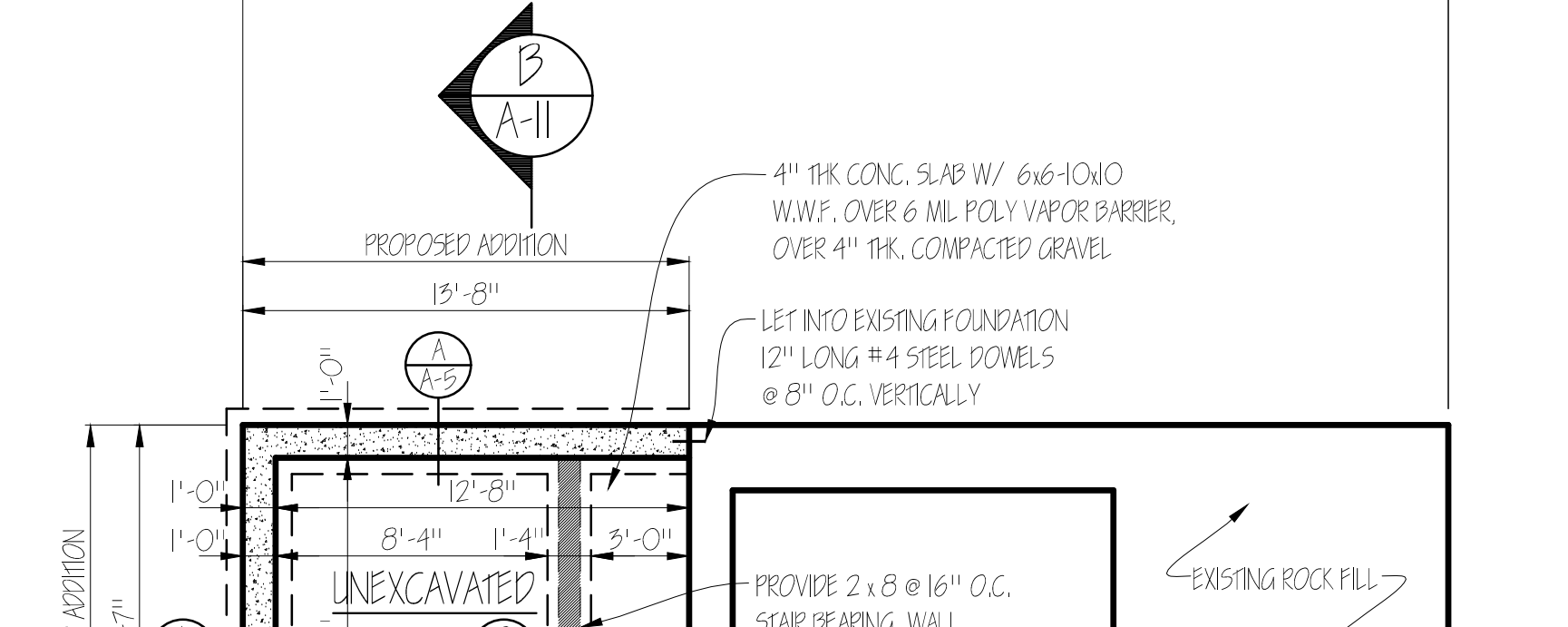
**B FOUNDATION WALL @ ELEVATOR PIT**  
A-5 SCALE 1/2" = 1'-0"



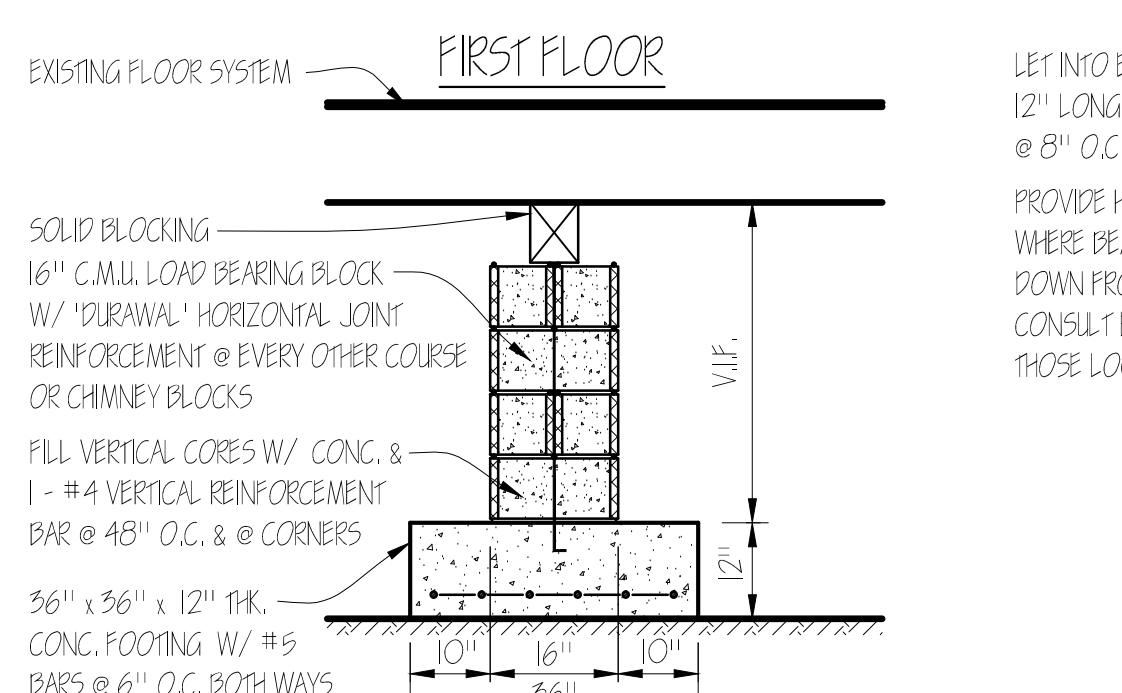
**F ELEVATOR PLAN**  
A-5 SCALE NTS



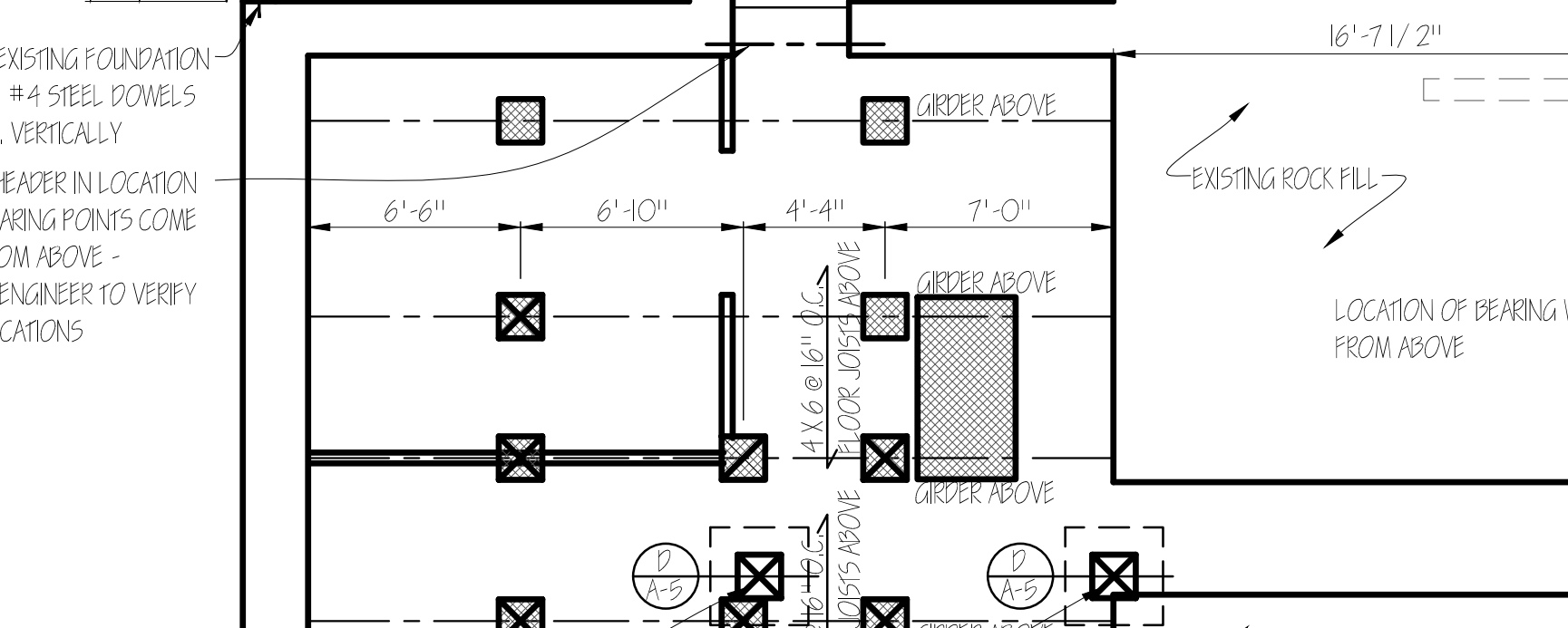
**C SLAB FOOTING DETAIL**  
A-5 SCALE 1/2" = 1'-0"



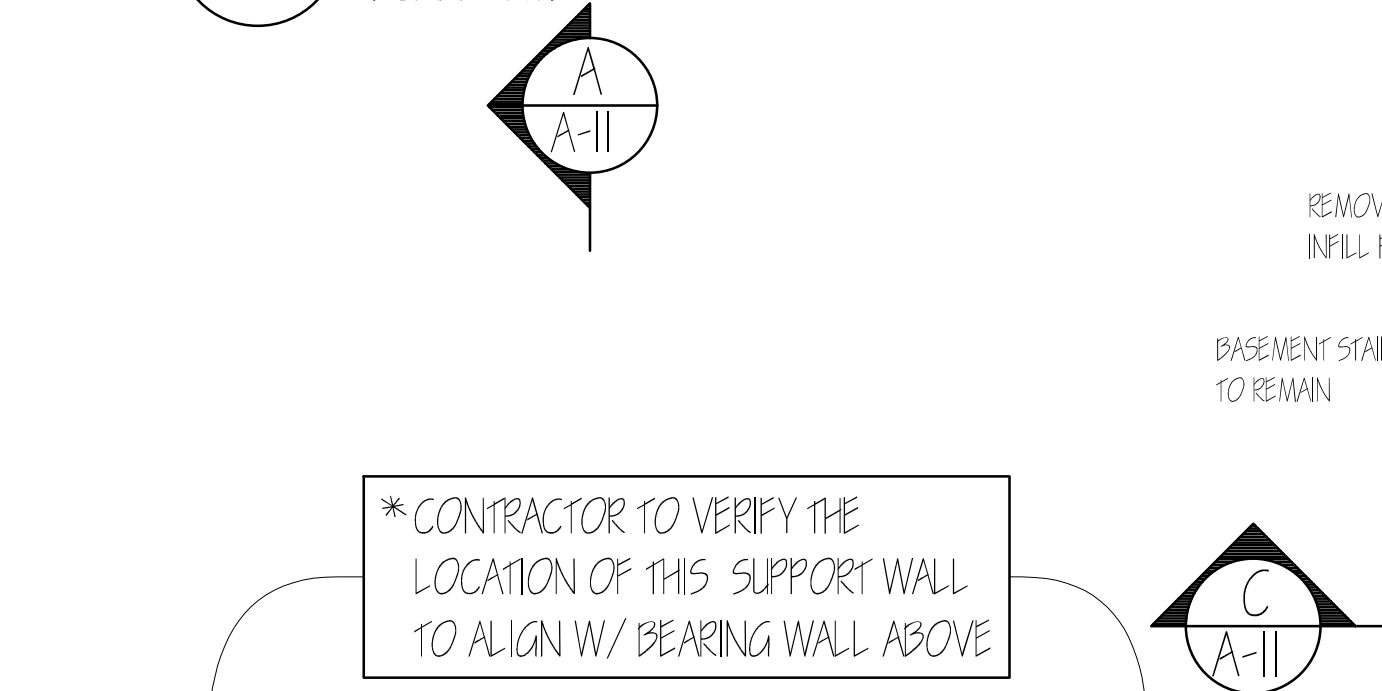
**B FOUNDATION WALL @ ELEVATOR PIT**  
A-5 SCALE 1/2" = 1'-0"



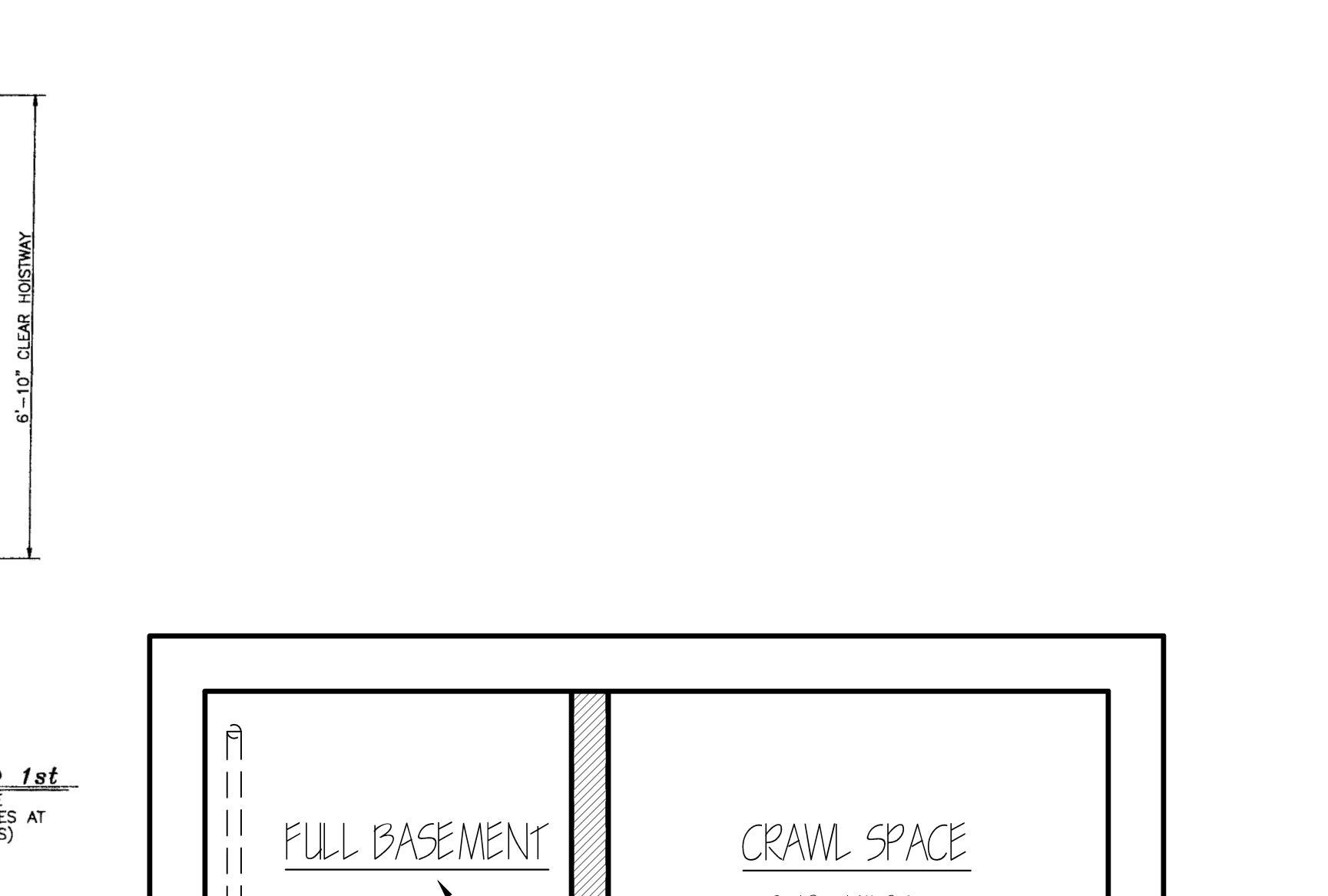
**E BASEMENT SUPPORT WALL DETAIL**  
A-5 SCALE 1/2" = 1'-0"



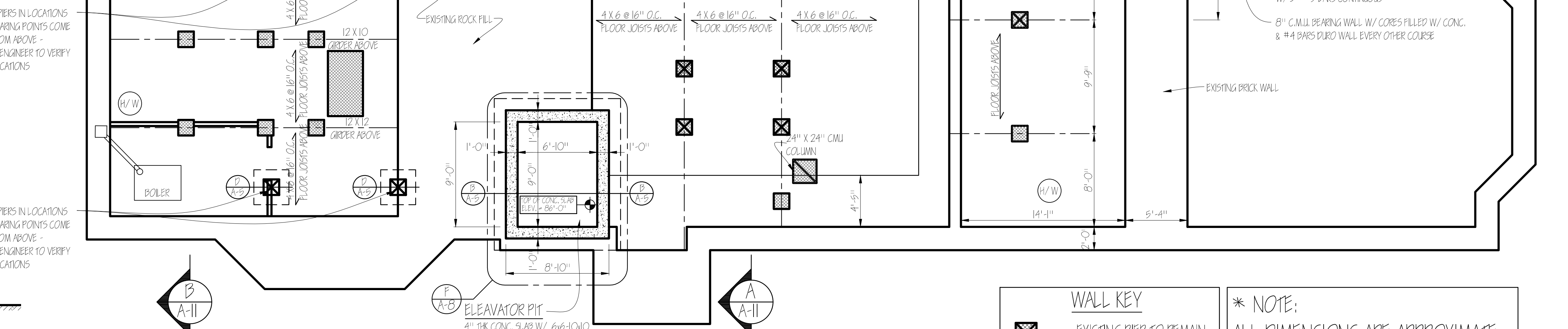
**D PIER DETAIL**  
A-5 SCALE 1/2" = 1'-0"



**F ELEVATOR PLAN**  
A-5 SCALE NTS



**Plan View @ 1st**  
SCALE: NONE  
(DEFLECTING FEATURES AT VARIOUS LEVELS)



**I BASEMENT / FOUNDATION PLAN**  
A-5 SCALE 3/16" = 1'-0"

**WALL KEY**

	EXISTING PIER TO REMAIN
	PROPOSED SUPPORT WALL SEE DETAIL 'D'

**\* NOTE:**  
ALL DIMENSIONS ARE APPROXIMATE;  
TO BE VERIFIED IN FIELD

RELEASED FOR PLANNING BOARD - JUNE 16, 2020  
RELEASED FOR CONSTRUCTION - JULY 10, 2020

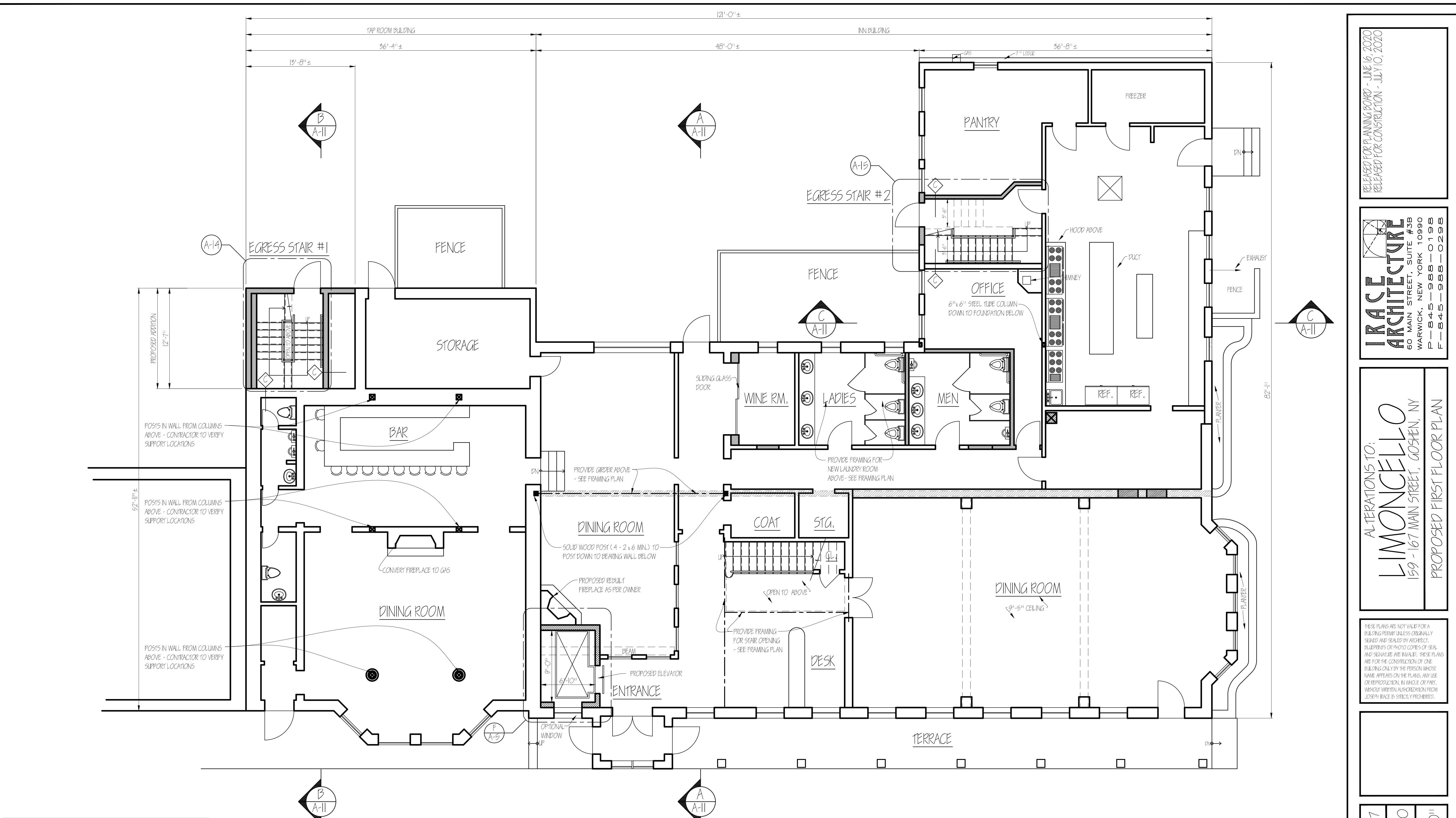
**IRACCE ARCHITECTURE**  
60 MAIN STREET, SUITE #3B  
WARWICK, NEW YORK 10990  
P-845-9888-0198  
F-845-9888-0298

ALTERATIONS TO:  
**LIMONCELLO**  
159-167 MAIN STREET, GOSHEN, NY  
**BASEMENT PLAN**

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Drawn by: **EC KUMER**  
Date: **JULY 10, 2020**  
Scale: **AS NOTED**

**A-5**



\* NOTE:  
ALL DIMENSIONS ARE APPROXIMATE;  
TO BE VERIFIED IN FIELD

WALL KEY	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL W/ 2 x 4 OR 2 x 6 WOOD STUDS @ 16" O.C. AND G.W.B.

- REMOVE WALLS AS INDICATED
- REMOVE SIDING ONLY AS NEEDED
- REMOVE ROOF SHINGLES AS REQ'D.
- REMOVE WINDOWS & DOORS AS INDICATED

1 PROPOSED FIRST FLOOR PLAN  
A-6 SCALE 3/16" = 1'-0"  
7,385 SQ. FT.

RELEASED FOR PLANNING BOARD - JUNE 16, 2020  
RELEASED FOR CONSTRUCTION - JULY 10, 2020

**IRACCE ARCHITECTURE**  
60 MAIN STREET, SUITE #3B  
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ALTERATIONS TO:  
**LIMONCELLO**  
159-167 MAIN STREET, GOSHEN, NY  
PROPOSED FIRST FLOOR PLAN

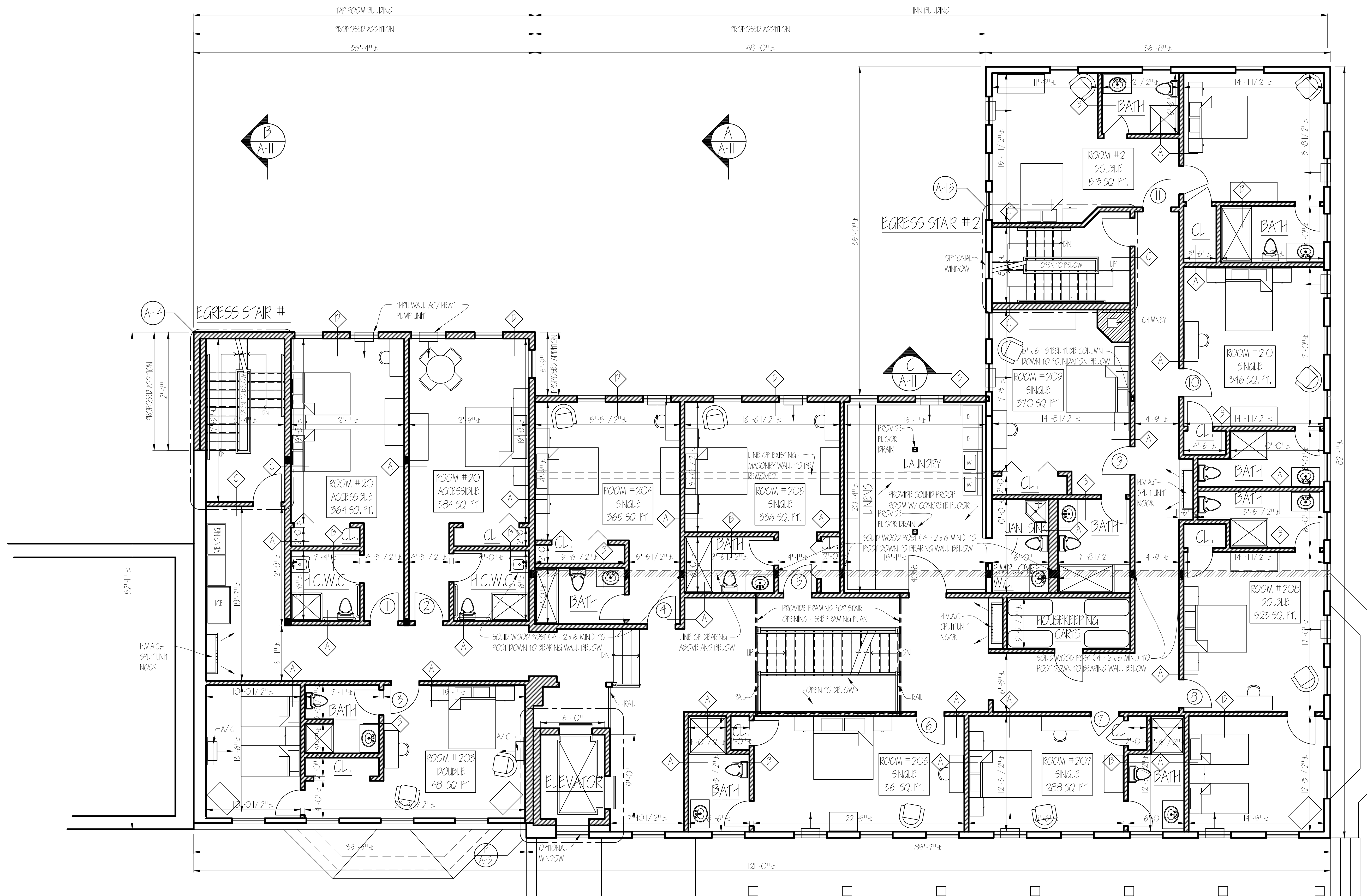
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Blank space for additional notes or stamps.

Drawn by: EC KLIMBER  
Date: JULY 10, 2020  
Scale: 3/16" = 1'-0"

**A-6**





\* NOTE:  
ALL DIMENSIONS ARE APPROXIMATE;  
TO BE VERIFIED IN FIELD

**WALL KEY**

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL W/ 2 x 4 OR 2 x 6 WOOD STUDS @ 16" O.C. AND G.W.B.

- REMOVE WALLS AS INDICATED
- REMOVE SIDING ONLY AS NEEDED
- REMOVE ROOF SHINGLES AS REQ'D.
- REMOVE WINDOWS & DOORS AS INDICATED

1 PROPOSED SECOND FLOOR PLAN  
A-7 SCALE 3/16" = 1'-0"  
7,170 SQ. FT.

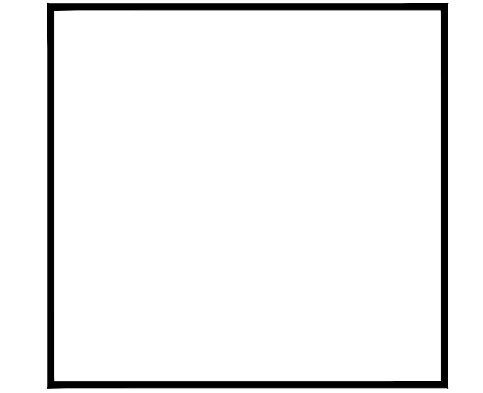
SECOND FLOOR	
ACCESSIBLE ROOMS	2
SINGLE ROOMS	6
DOUBLE ROOMS	3
TOTAL GUEST ROOMS	11

RELEASED FOR PLANNING BOARD - JUNE 16, 2020  
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**IRACELLO ARCHITECTURE**  
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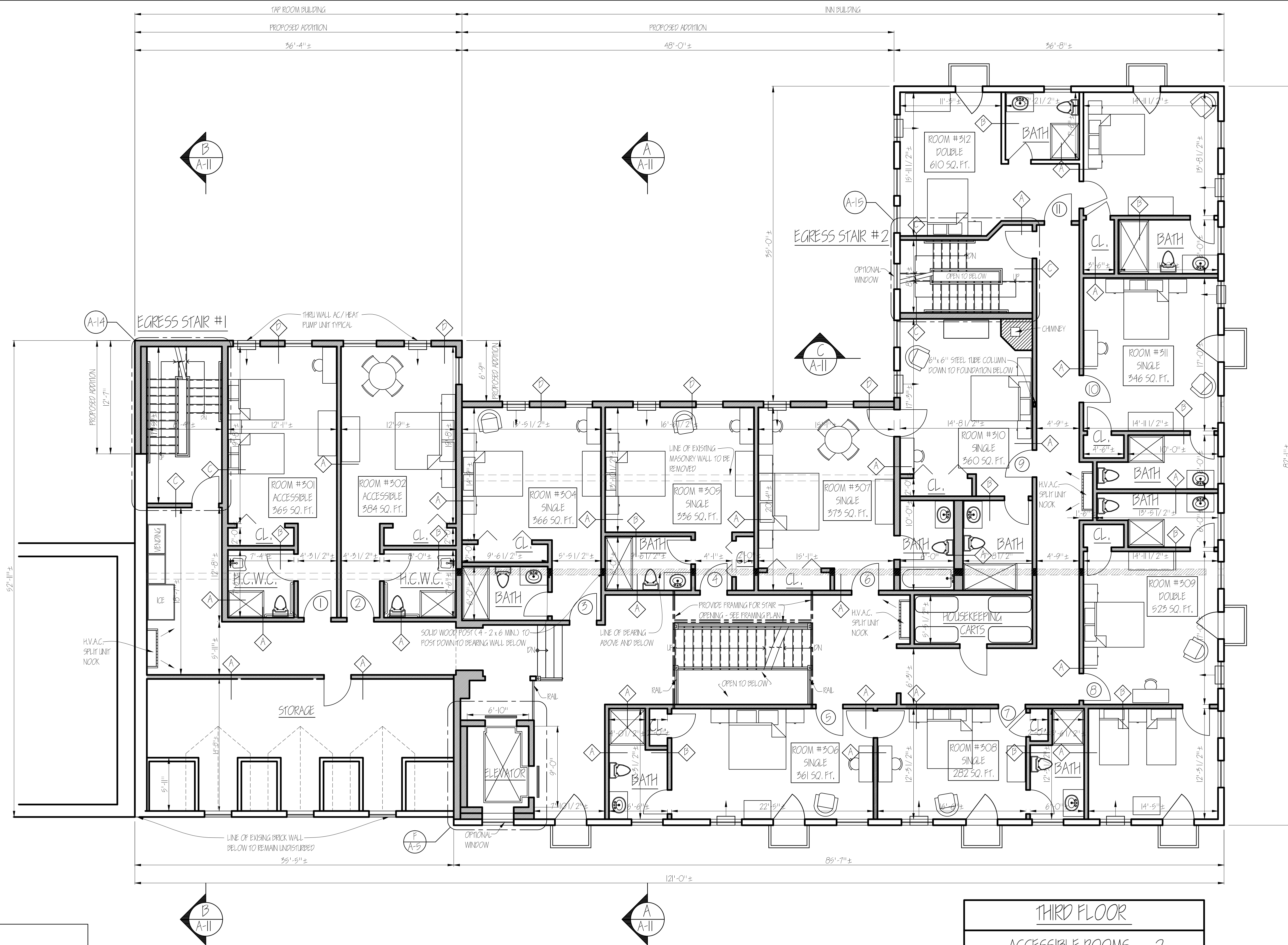
ALTERATIONS TO:  
**LIMONCELLO**  
159-167 MAIN STREET, GOSHEN, NY  
PROPOSED SECOND FLOOR PLAN

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Drawn by: EC KIMBER  
Date: JULY 10, 2020  
Scale: 3/16" = 1'-0"

**A-7**



\* NOTE:  
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TO BE VERIFIED IN FIELD

**WALL KEY**

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL W/ 2x4 OR 2x6 WOOD STUDS @ 16" O.C. AND G.W.B.

- REMOVE WALLS AS INDICATED
- REMOVE SIDING ONLY AS NEEDED
- REMOVE ROOF SHINGLES AS REQ'D.
- REMOVE WINDOWS & DOORS AS INDICATED

1  
A-8 PROPOSED THIRD FLOOR PLAN  
SCALE 3/16" = 1'-0"  
7,195 SQ. FT.

THIRD FLOOR	
ACCESSIBLE ROOMS	2
SINGLE ROOMS	7
DOUBLE ROOMS	2
<b>TOTAL GUEST ROOMS</b>	<b>11</b>

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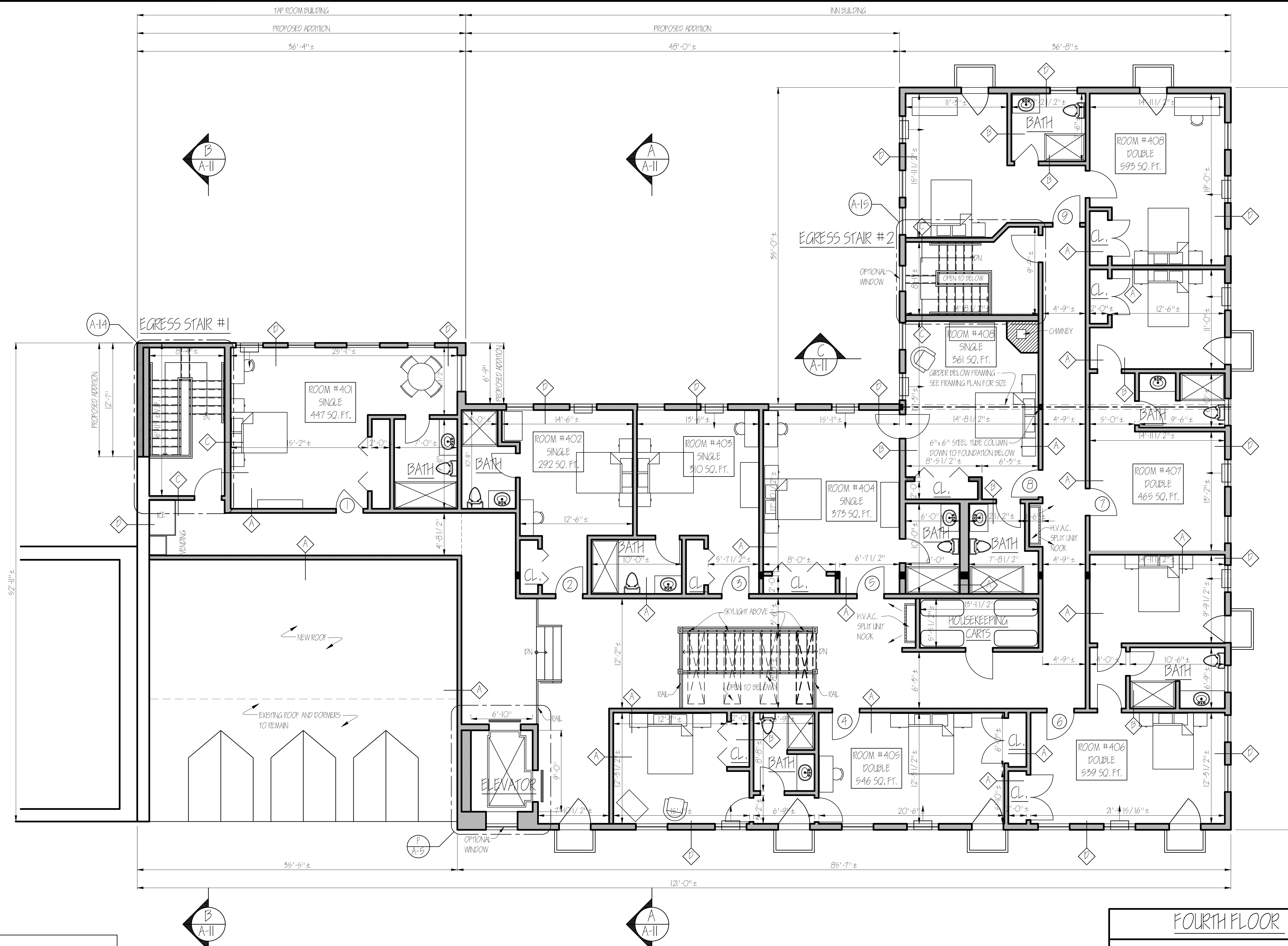
**IRACCE ARCHITECTURE**  
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WARWICK, NEW YORK 10990  
P-845-9888-0198  
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ALTERATIONS TO:  
**LIMONCELLO**  
159-167 MAIN STREET, GOSHEN, NY  
PROPOSED THIRD FLOOR PLAN

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Drawn by: EC  
KIMBER  
Date: JULY 10, 2020  
Scale: 3/16" = 1'-0"

**A-8**



\* NOTE:  
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TO BE VERIFIED IN FIELD

**WALL KEY**

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL W/ 2x4 OR 2x6 WOOD STUDS @ 16" O.C. AND G.W.B.

- REMOVE WALLS AS INDICATED
- REMOVE SIDING ONLY AS NEEDED
- REMOVE ROOF SHINGLES AS REQ'D.
- REMOVE WINDOWS & DOORS AS INDICATED

1 PROPOSED FOURTH FLOOR PLAN  
SCALE 3/16" = 1'-0"  
6,168 SQ. FT.

FOURTH FLOOR	
SINGLE ROOMS	5
PENTHOUSE DOUBLES	4
<b>TOTAL GUEST ROOMS</b>	<b>9</b>

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P-845-9888-0198  
F-845-9888-0298

ALTERATIONS TO:  
**LIMONCELLO**  
159-167 MAIN STREET, GOSHEN, NY  
PROPOSED FOURTH FLOOR PLAN

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Drawn by: EC KLIMER  
Date: JULY 10, 2020  
Scale: 3/16" = 1'-0"

Job # 1906037  
**A-9**





1 PROPOSED FRONT ELEVATION  
A-10 SCALE 1/8" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION  
A-10 SCALE 1/8" = 1'-0"



3 PROPOSED LEFT SIDE ELEVATION  
A-10 SCALE 1/8" = 1'-0"



4 PROPOSED REAR ELEVATION  
A-10 SCALE 1/8" = 1'-0"

PROVIDE FLASHING TO MEET SECTION R705.4 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE  
PROVIDE ICE & WATER SHIELD TO MEET SECTION R905.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE

RELEASED FOR PLANNING BOARD - JUNE 16, 2020  
RELEASED FOR CONSTRUCTION - JULY 10, 2020

**IRACE ARCHITECTURE**  
60 MAIN STREET, SUITE #3B  
WARWICK, NEW YORK 10990  
P-845-988-0198  
F-845-988-0298

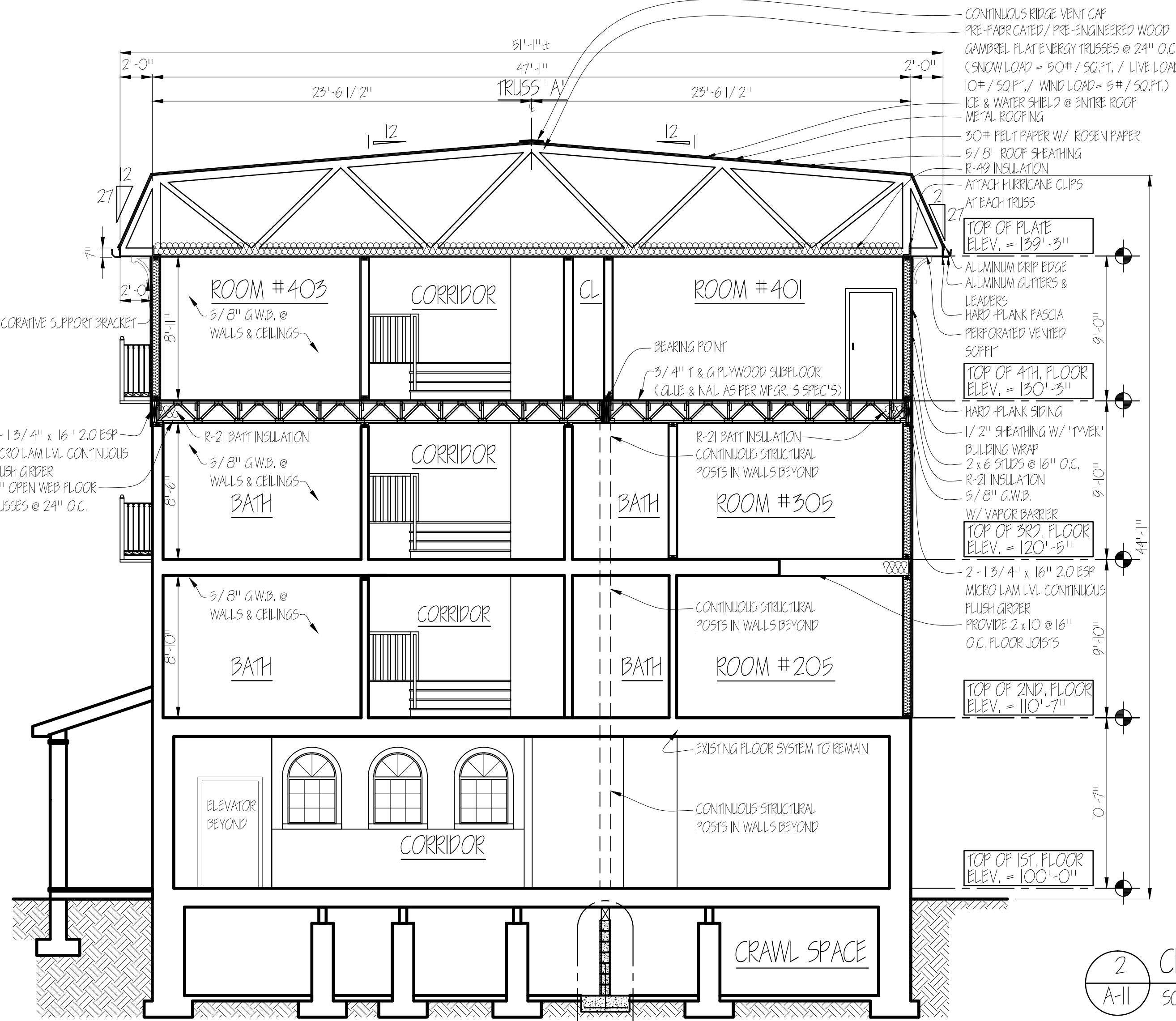
ALTERATIONS TO:  
**LIMONCELLO**  
159-167 MAIN STREET, GOSHEN, NY  
PROPOSED ELEVATIONS

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS. ANY USE OR REPRODUCTION IN WHOLE OR PART, WITHOUT WRITTEN AUTHORIZATION FROM JOSEPH IRACE IS STRICTLY PROHIBITED.

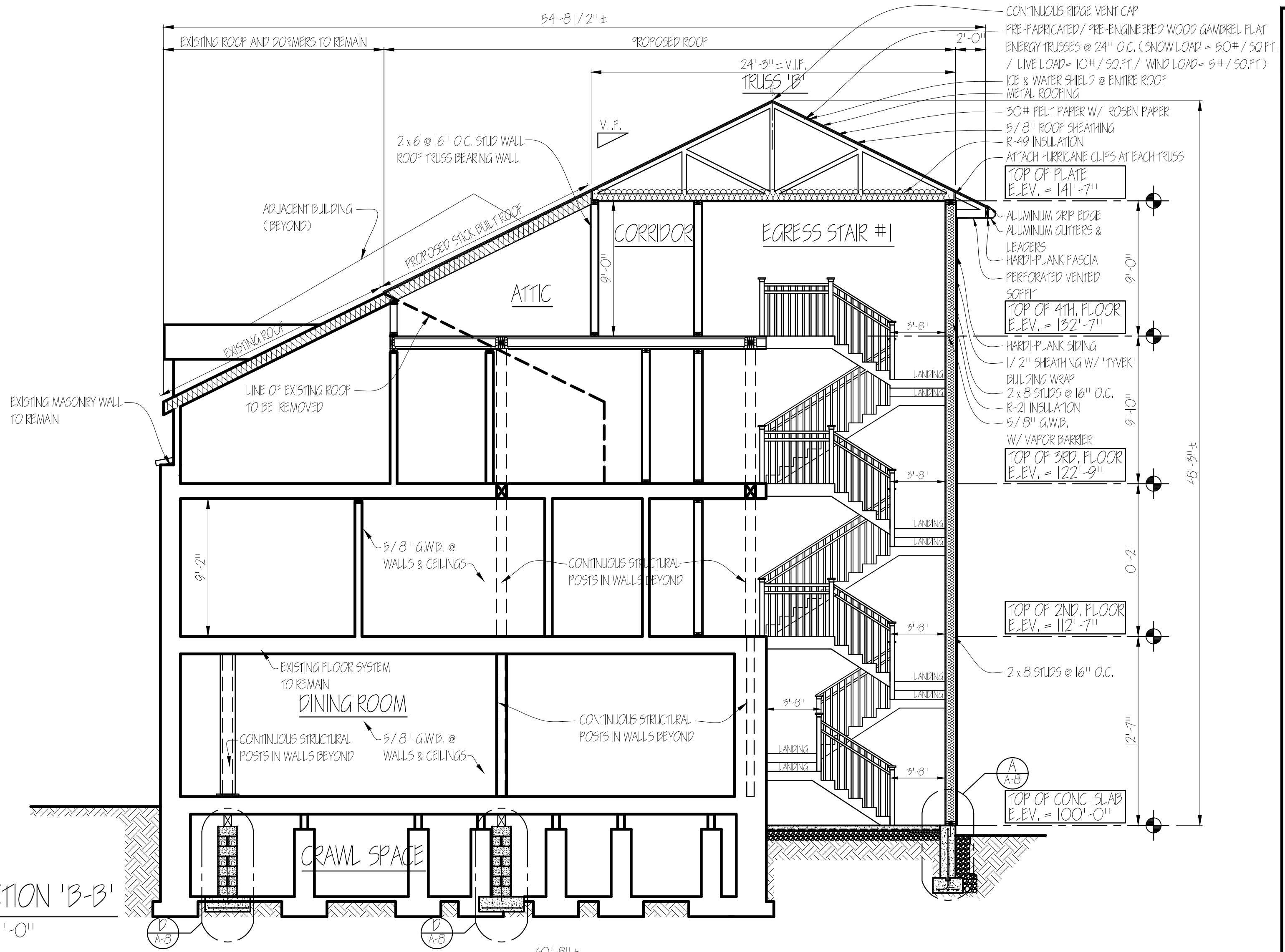
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Job # 1906037  
Date JULY 10, 2020  
Scale 1/8" = 1'-0"

**A-10**

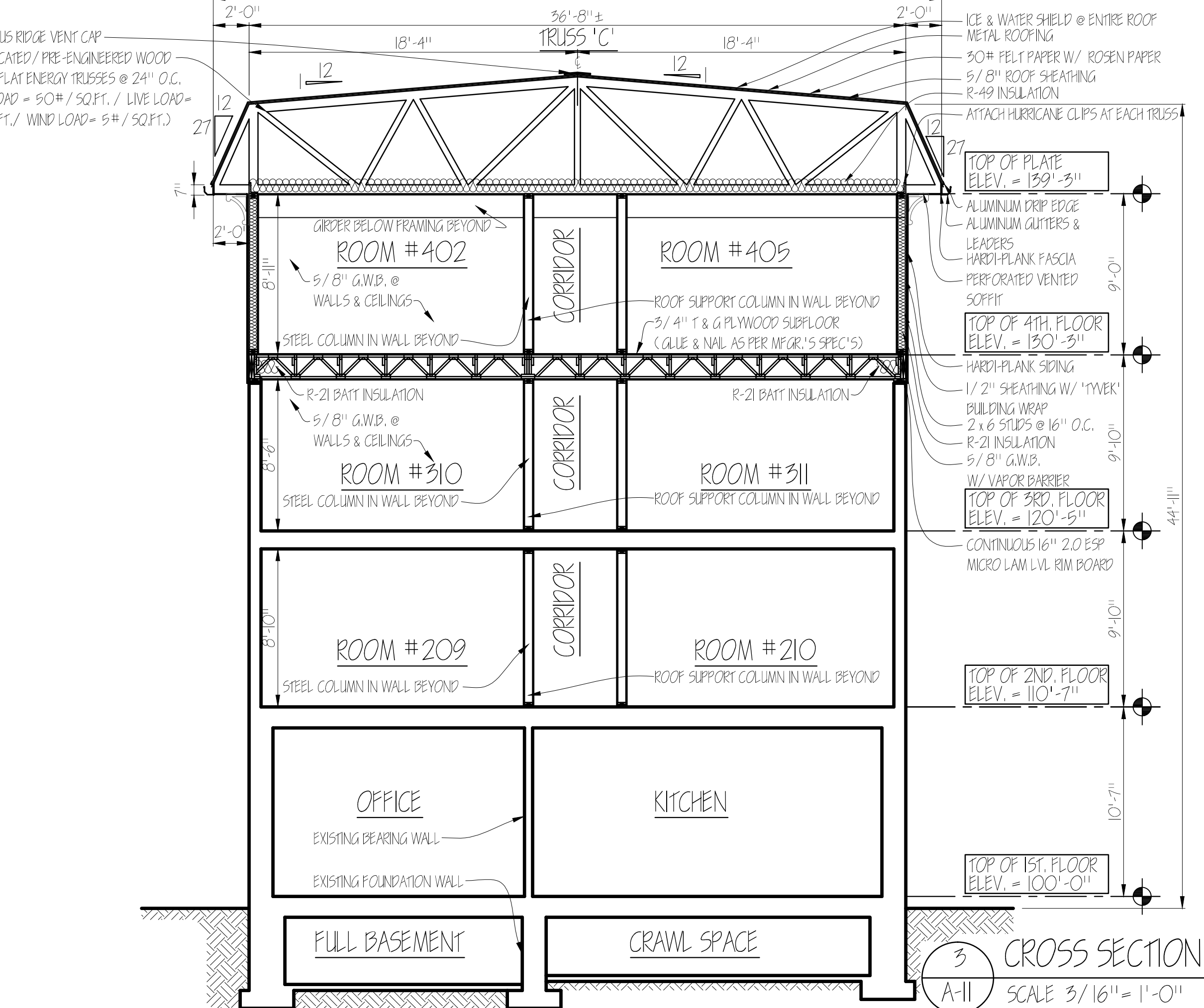
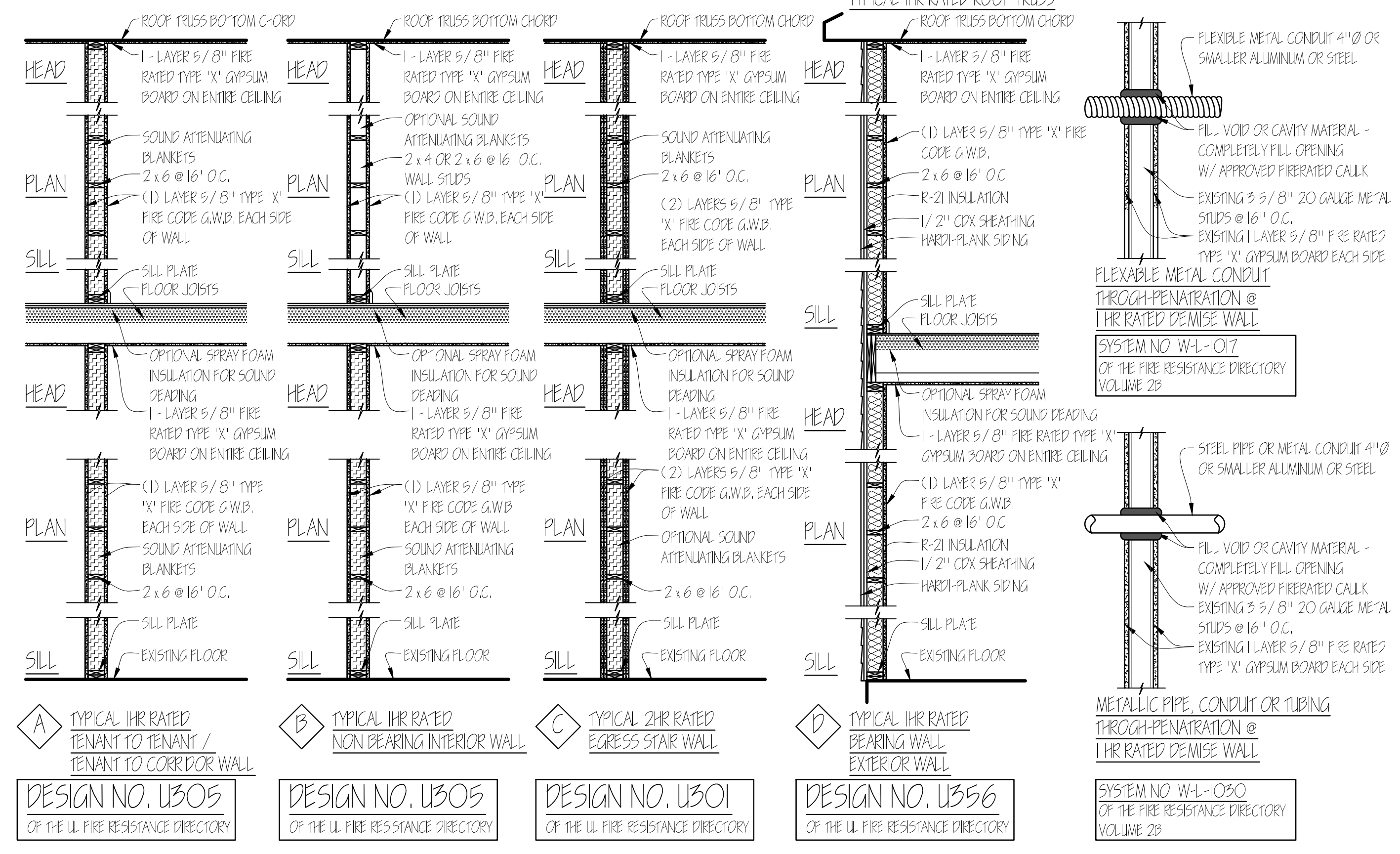


1 CROSS SECTION 'A-A'  
A-II SCALE 3/16" = 1'-0"



2 CROSS SECTION 'B-B'  
A-II SCALE 3/16" = 1'-0"

### WALL TYPES



3 CROSS SECTION 'C-C'  
A-II SCALE 3/16" = 1'-0"

RELEASED FOR PLANNING BOARD - JUNE 16, 2020  
RELEASED FOR CONSTRUCTION - JULY 10, 2020

**IRACCE**  
**ARCHITECTURE**  
60 MAIN STREET, SUITE #3B  
WARWICK, NEW YORK 10990  
P-845-9888-0198  
F-845-9888-0298

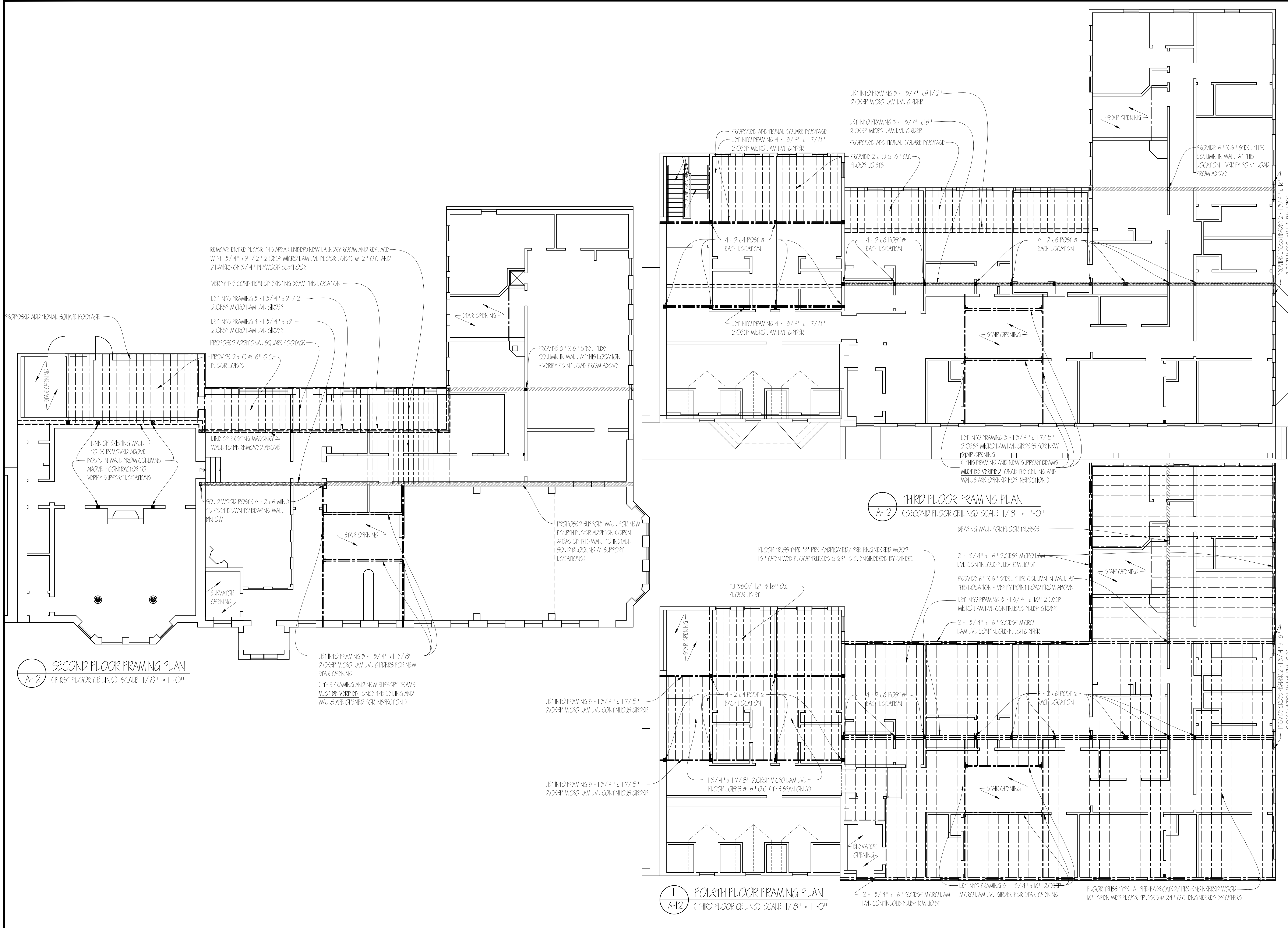
ALTERATIONS TO:  
**LIMONCELLO**  
ARCHITECTURE  
159-167 MAIN STREET, GOSHEN, NY  
CROSS SECTION 'A-A', 'B-B' & 'C-C'

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Drawn by: **KIMBER**  
Date: **JULY 10, 2020**  
Scale: **AS NOTED**

**A-11**





1 SECOND FLOOR FRAMING PLAN  
A-12 (FIRST FLOOR CEILING) SCALE 1/8" = 1'-0"

1 THIRD FLOOR FRAMING PLAN  
A-12 (SECOND FLOOR CEILING) SCALE 1/8" = 1'-0"

1 FOURTH FLOOR FRAMING PLAN  
A-12 (THIRD FLOOR CEILING) SCALE 1/8" = 1'-0"

REMOVE ENTIRE FLOOR THIS AREA (UNDER NEW LAUNDRY ROOM AND REPLACE WITH 1 3/4" x 9 1/2" 2.OESP MICRO LAM LVL FLOOR JOISTS @ 12" O.C. AND 2 LAYERS OF 3/4" PLYWOOD SUBFLOOR

VERIFY THE CONDITION OF EXISTING BEAM THIS LOCATION

LET INTO FRAMING 3 - 1 3/4" x 9 1/2" 2.OESP MICRO LAM LVL GIRDER

LET INTO FRAMING 4 - 1 3/4" x 18" 2.OESP MICRO LAM LVL GIRDER

PROPOSED ADDITIONAL SQUARE FOOTAGE

PROVIDE 2 x 10 @ 16" O.C. FLOOR JOISTS

PROVIDE 6" X 6" STEEL TUBE COLUMN IN WALL AT THIS LOCATION - VERIFY POINT LOAD FROM ABOVE

LET INTO FRAMING 3 - 1 3/4" x 11 7/8" 2.OESP MICRO LAM LVL GIRDERS FOR NEW STAIR OPENING (THIS FRAMING AND NEW SUPPORT BEAMS MUST BE VERIFIED ONCE THE CEILING AND WALLS ARE OPENED FOR INSPECTION)

LET INTO FRAMING 3 - 1 3/4" x 11 7/8" 2.OESP MICRO LAM LVL GIRDERS FOR NEW STAIR OPENING (THIS FRAMING AND NEW SUPPORT BEAMS MUST BE VERIFIED ONCE THE CEILING AND WALLS ARE OPENED FOR INSPECTION)

LET INTO FRAMING 5 - 1 3/4" x 11 7/8" 2.OESP MICRO LAM LVL CONTINUOUS GIRDER

LET INTO FRAMING 5 - 1 3/4" x 11 7/8" 2.OESP MICRO LAM LVL CONTINUOUS GIRDER

LET INTO FRAMING 3 - 1 3/4" x 9 1/2" 2.OESP MICRO LAM LVL GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL GIRDER

PROPOSED ADDITIONAL SQUARE FOOTAGE

PROVIDE 2 x 10 @ 16" O.C. FLOOR JOISTS

LET INTO FRAMING 4 - 1 3/4" x 11 7/8" 2.OESP MICRO LAM LVL GIRDER

LET INTO FRAMING 3 - 1 3/4" x 11 7/8" 2.OESP MICRO LAM LVL GIRDER

LET INTO FRAMING 4 - 1 3/4" x 11 7/8" 2.OESP MICRO LAM LVL GIRDER

LET INTO FRAMING 3 - 1 3/4" x 11 7/8" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

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LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

LET INTO FRAMING 3 - 1 3/4" x 16" 2.OESP MICRO LAM LVL CONTINUOUS FLUSH GIRDER

RELEASED FOR PLANNING BOARD - JUNE 16, 2020  
RELEASED FOR CONSTRUCTION - JULY 10, 2020

**IRACÉ**  
**ARCHITECTURE**  
60 MAIN STREET, SUITE #3B  
WARWICK, NEW YORK 10990  
P-845-988-0198  
F-845-988-0298

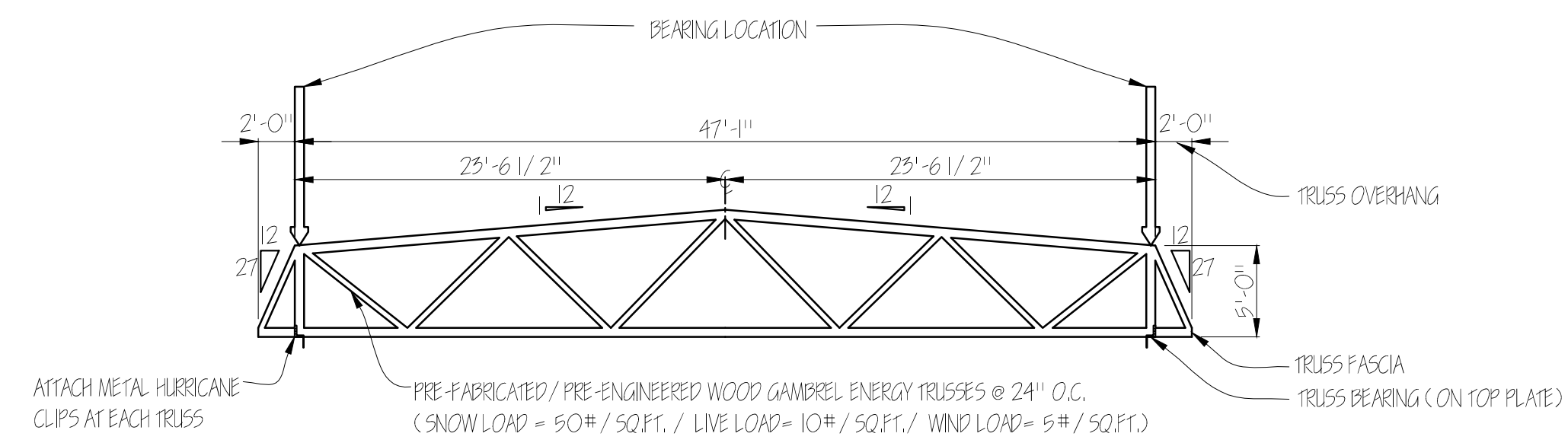
ALTERATIONS TO:  
**LIMONCELLO**  
159-167 MAIN STREET, GOSHEN, NY  
FRAMING PLANS

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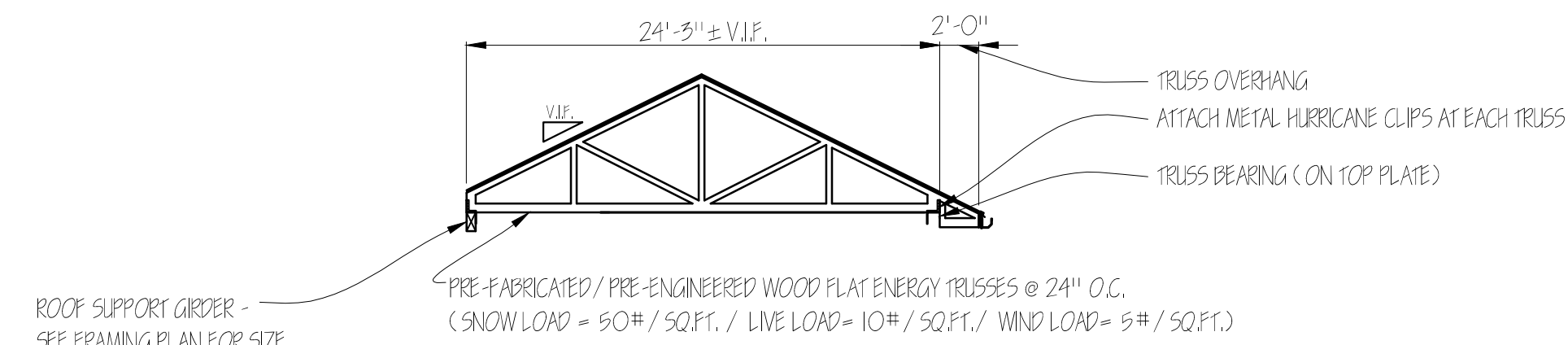
Job # 1906037  
Drawn by EC  
KIMBER  
Date JULY 10, 2020  
Scale AS NOTED

**A-12**

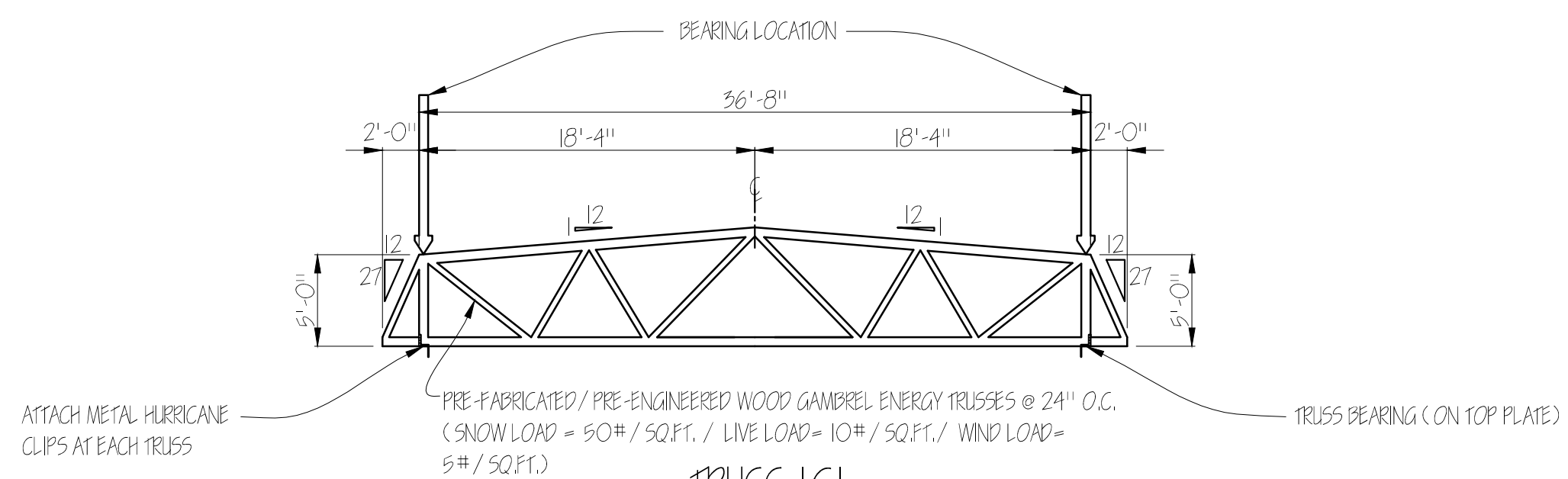
### TRUSS TYPES



TRUSS 'A'

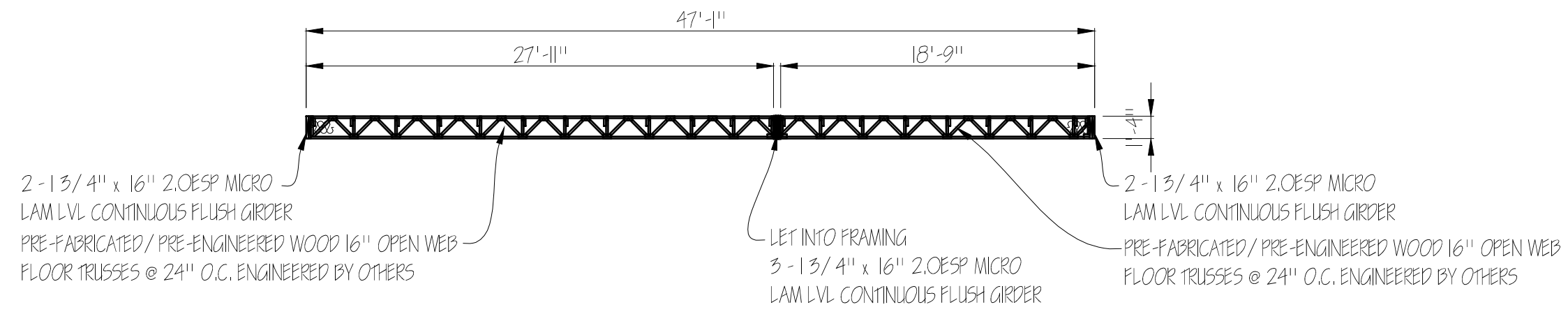


TRUSS 'B'



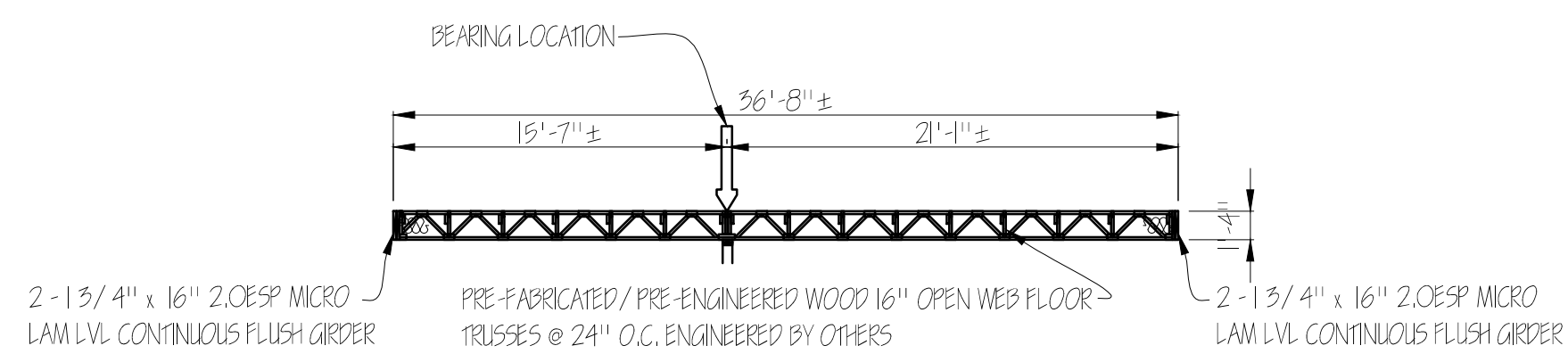
TRUSS 'C'

### FLOOR TRUSS TYPES

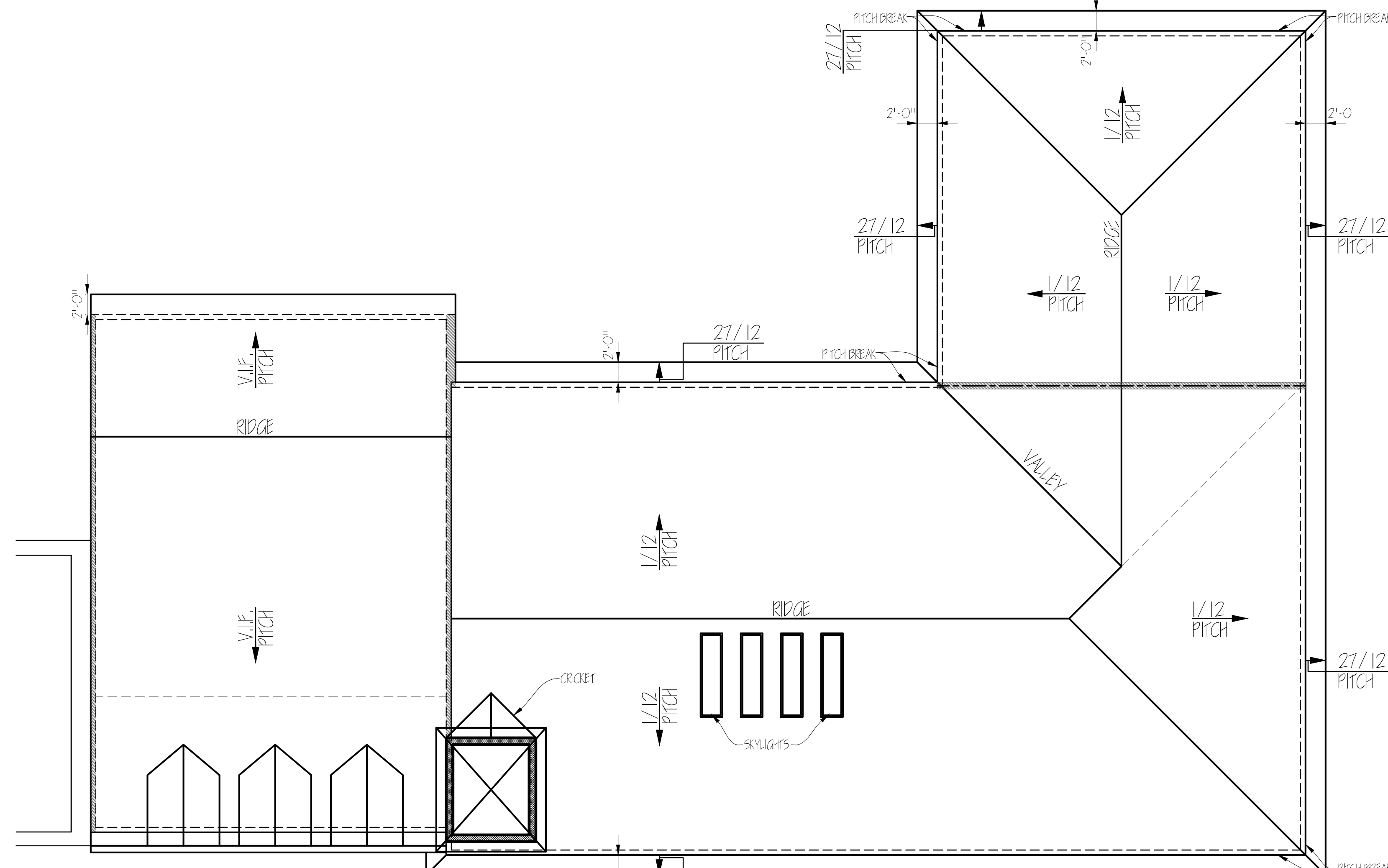


FLOOR TRUSS 'A'

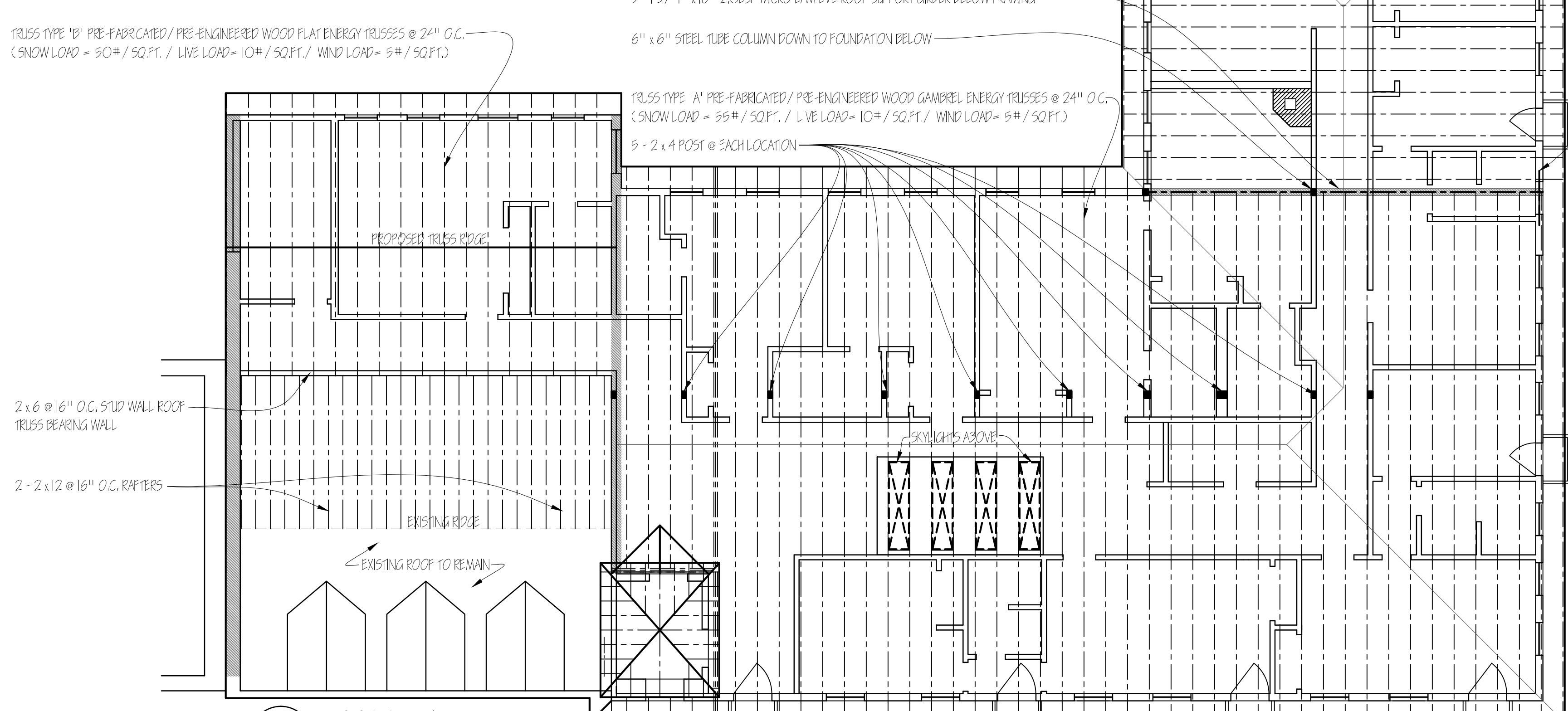
FLOOR TRUSS 'B'



FLOOR TRUSS 'C'



2 ROOF PLAN SCALE 1/8" = 1'-0"



1 ROOF FRAMING PLAN (FOURTH FLOOR CEILING) SCALE 1/8" = 1'-0"

RELEASED FOR PLANNING BOARD - JUNE 16, 2020  
RELEASED FOR CONSTRUCTION - JULY 10, 2020

**IRACÉ**  
**ARCHITECTURE**  
60 MAIN STREET, SUITE #3B  
WARWICK, NEW YORK 10990  
P-845-988-0198  
F-845-988-0298

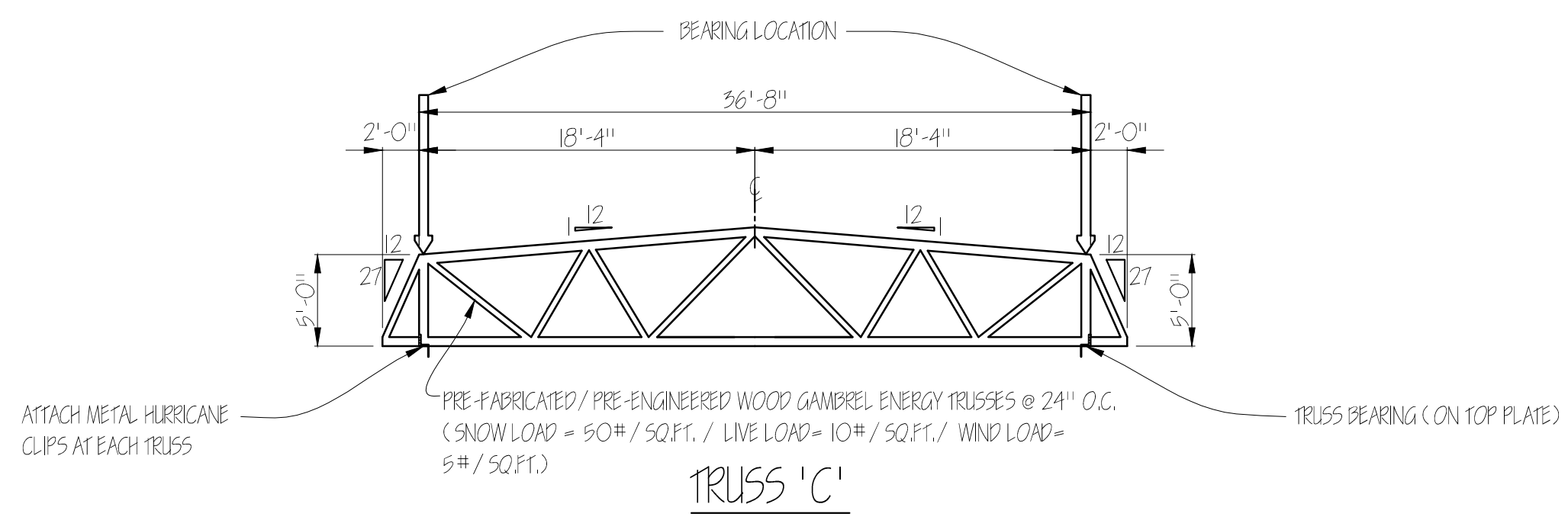
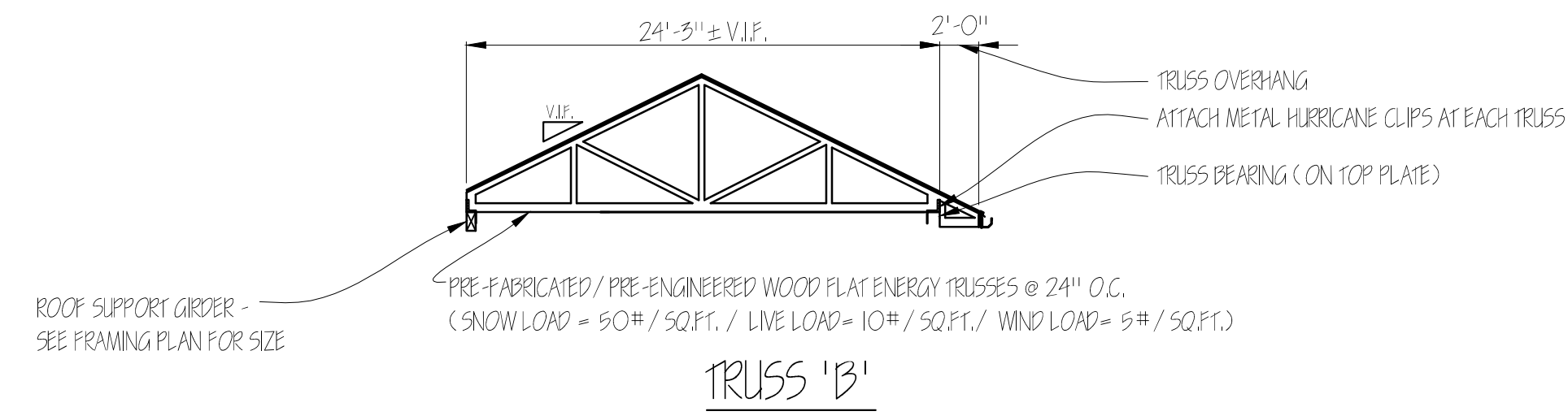
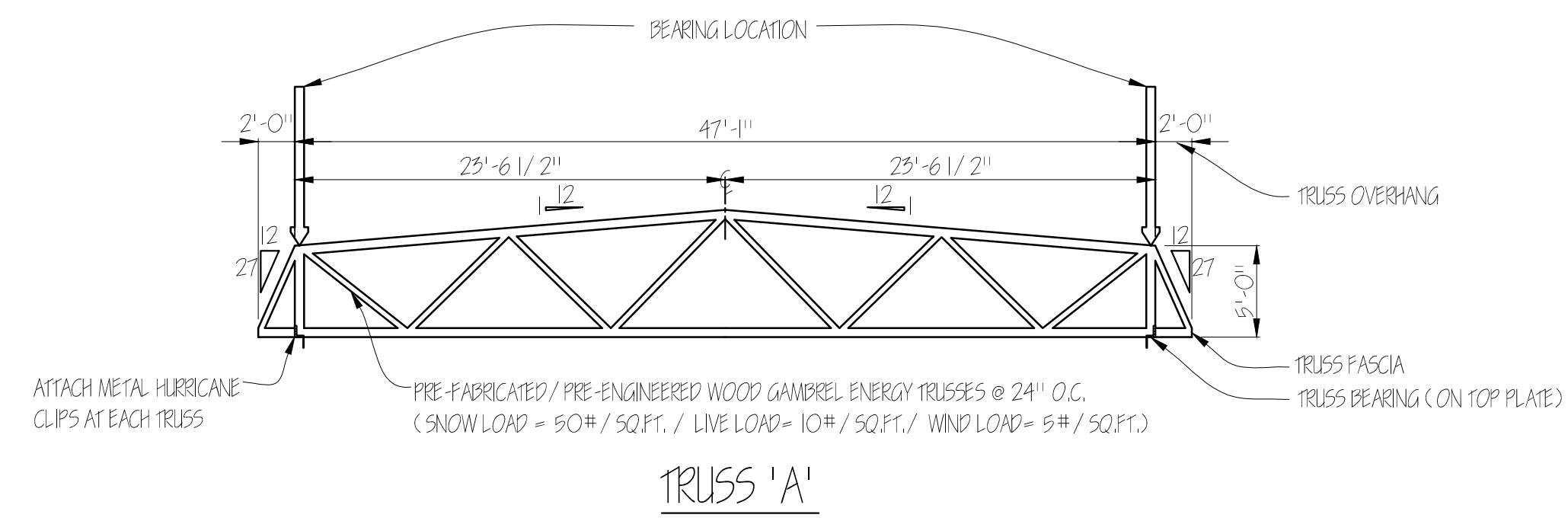
ALTERATIONS TO:  
**LIMONCELLO**  
159-167 MAIN STREET, GOSHEN, NY  
ROOF FRAMING PLANS

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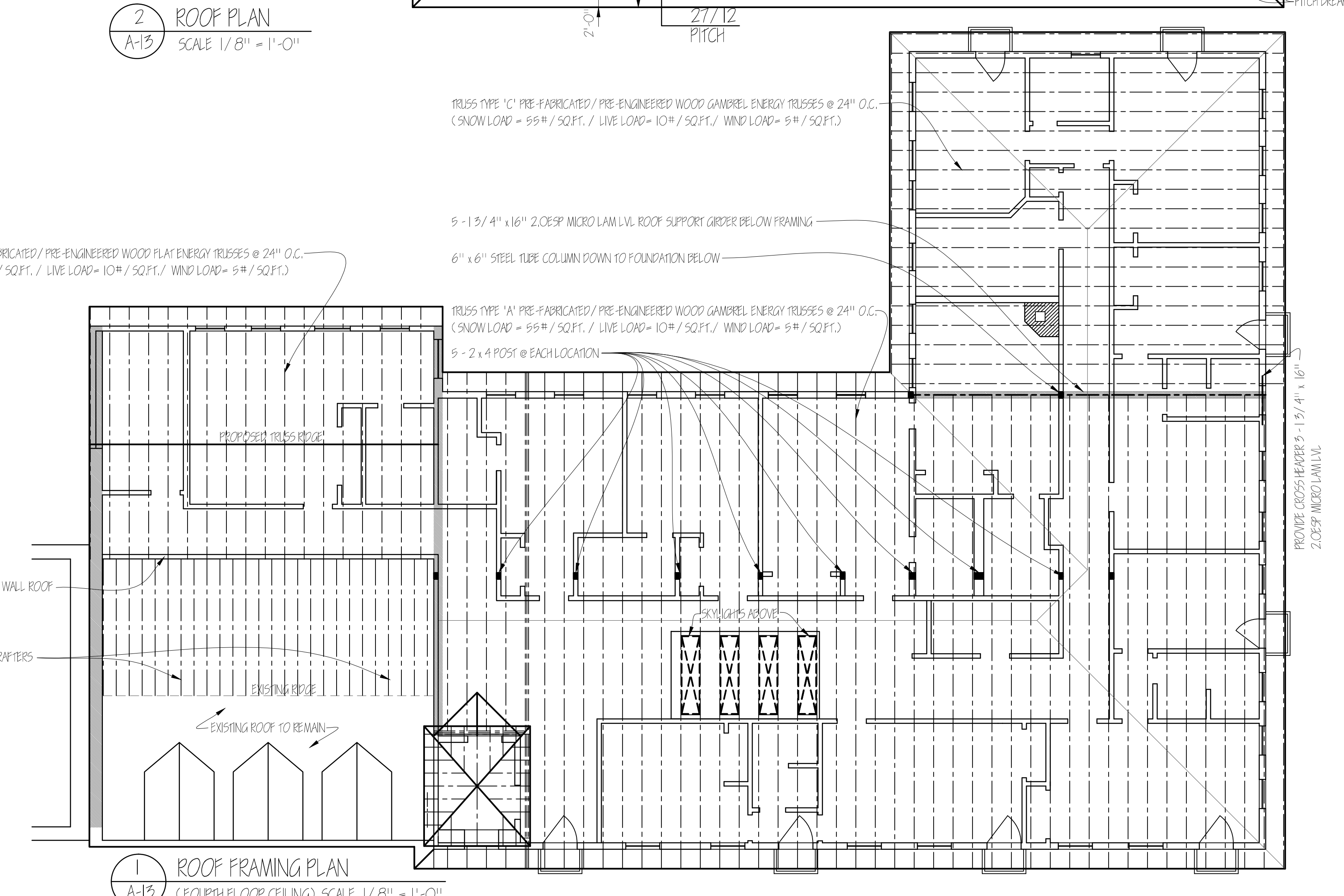
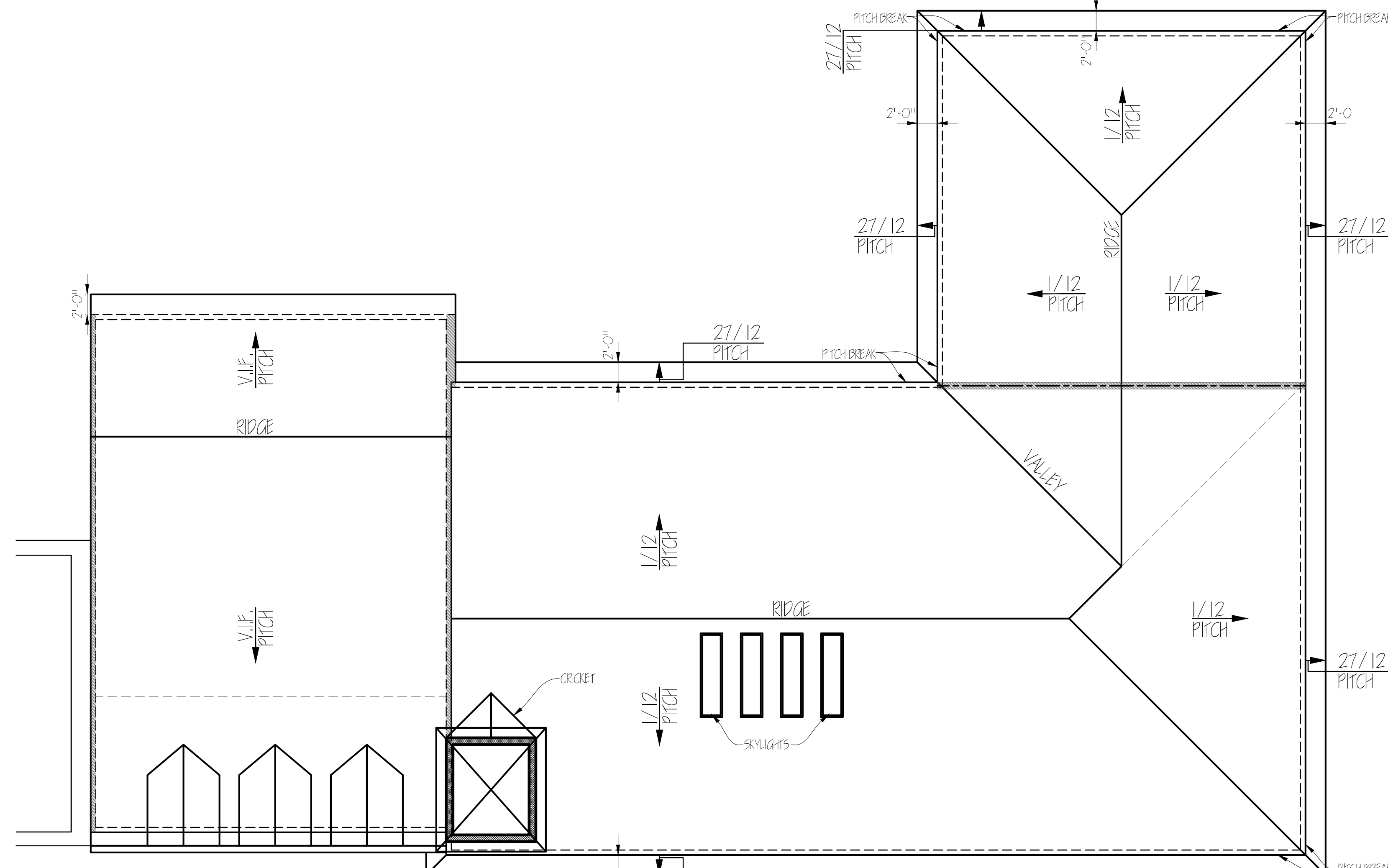
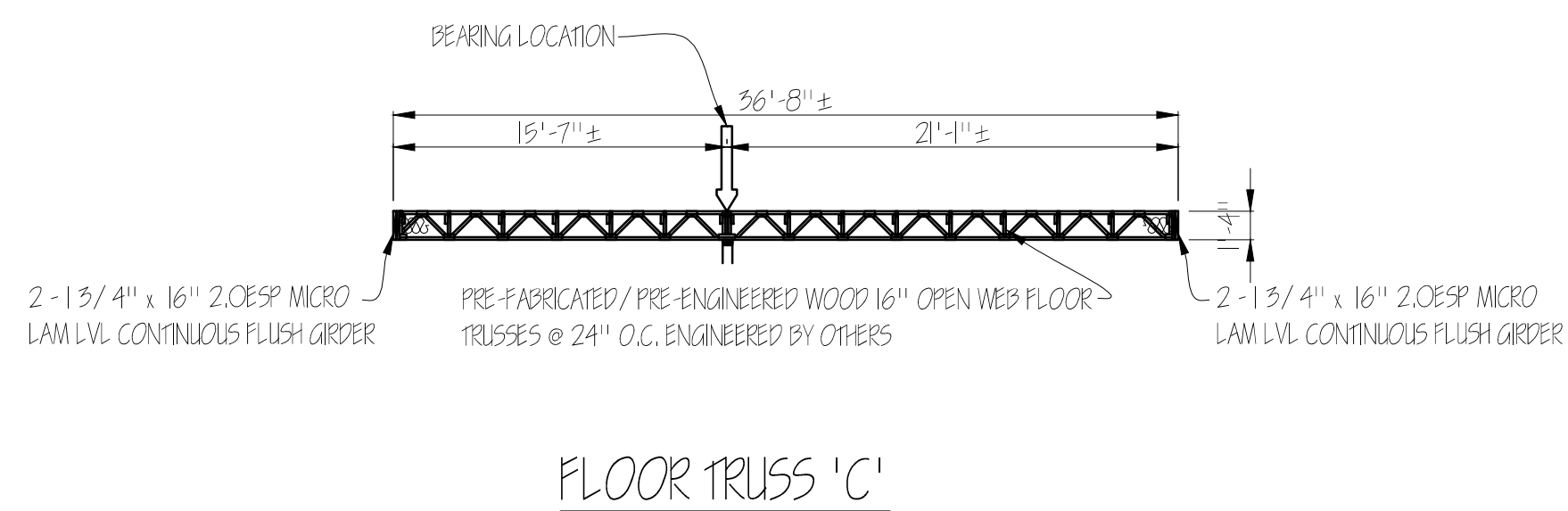
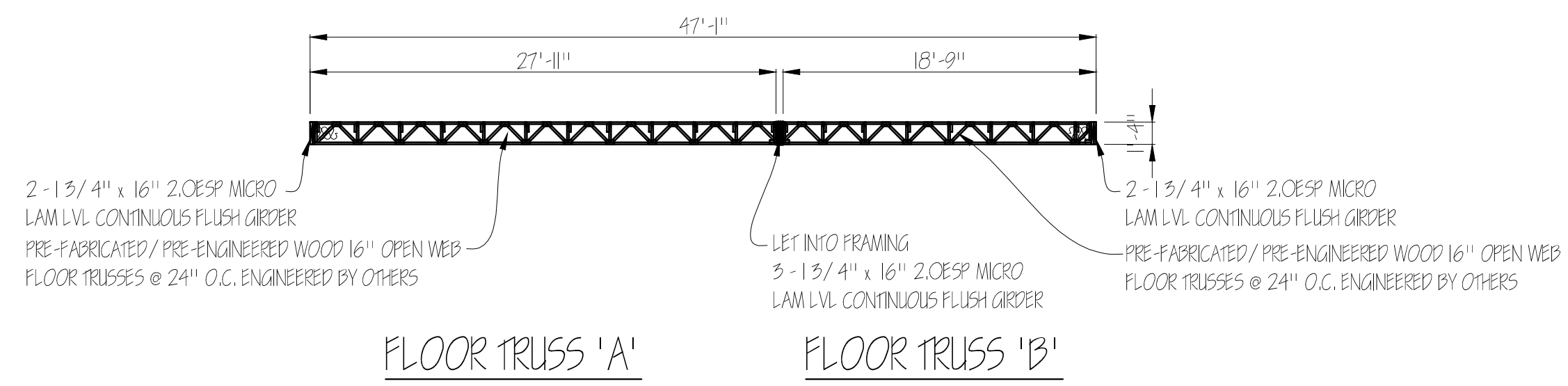
Job # 1906037  
Drawn by EC KLIMER  
Date JULY 10, 2020  
Scale AS NOTED

**A-13**

### TRUSS TYPES



### FLOOR TRUSS TYPES



RELEASED FOR PLANNING BOARD - JUNE 16, 2020  
RELEASED FOR CONSTRUCTION - JULY 10, 2020

**IRACÉ ARCHITECTURE**  
60 MAIN STREET, SUITE #3B  
WARWICK, NEW YORK 10990  
P-845-988-0198  
F-845-988-0298

ALTERATIONS TO:  
**LIMONCELLO**  
159-167 MAIN STREET, GOSHEN, NY  
ROOF FRAMING PLANS

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Job # 1906037  
Drawn by EC KLIMBER  
Date JULY 10, 2020  
Scale AS NOTED

**A-13**



# ORANGE COUNTY DEPARTMENT OF FINANCE

Located at  
255 Main Street  
Goshen, New York 10924

Karin E. Hablow  
Commissioner

Real Property Tax  
845-291-2480

Kerry Gallagher  
Deputy Commissioner

Main Fax  
845-378-2372

Steven M. Neuhaus  
County Executive

## DELINQUENT TAX BILL

Date of this Bill: **October 2020**

Municipality: **Goshen**

### *Interested Party on Title Search*

Orange County Industrial Development Agency  
255-275 Main ST  
GOSHEN, NY 10924

Section-Block-Lot: **12-2-41**

**Make checks payable and remit to:** Commissioner of Finance  
County of Orange  
255 Main Street  
Goshen, NY 10924

### **FOR INFORMATIONAL PURPOSES**

As of October 2020, taxes are not paid on the property listed above.

To obtain the amount to make a partial payment, please call 845-291-2480.

**\*\*\*\*CASHIER'S CHECK/CERTIFIED CHECK/MONEY ORDER ONLY\*\*\*\*  
NO PERSONAL CHECKS WILL BE ACCEPTED.**

**THE REDEMPTION PERIOD EXPIRES FEBRUARY 28, 2021.  
PAYMENTS WILL BE ACCEPTED UNTIL FEBRUARY 28, 2021.**

Total amount due will include a 5% penalty, interest, and certain fees added thereto.  
Penalty and interest accrue by law. Interest may be subject to increase (Real Property Tax Law – Section 924-a).  
Partial payments are accepted on delinquent taxes.  
For further information call the Orange County Tax Department at 845-291-2480

Please return bottom stub with payment

---

### **ORANGE COUNTY DELINQUENT PROPERTY TAX PAYMENT STUB**

Date of this Bill: **October 2020**

Municipality: **Goshen**

### *Interested Party on Title Search*

Orange County Industrial Development Agency  
255-275 Main ST  
GOSHEN, NY 10924

Section-Block-Lot: **12-2-41**

**AMOUNT REMITTED: \$ \_\_\_\_\_**

THE FOLLOWING INFORMATION APPEARED ON THE LIST OF DELINQUENT  
TAXES FILED WITH THE COUNTY CLERK ON NOVEMBER 1, 2019.

Owner (s):	NYTT LLC, 975 Belmont Ave
Description:	Town of Goshen
Parcel ID:	333089; 12-2-41
Amount Due:	42.54

STATE OF NEW YORK  
SUPREME COURT, ORANGE COUNTY

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IN THE MATTER OF THE FORECLOSURE :  
OF TAX LIENS BY PROCEEDING IN REM :  
PURSUANT TO ARTICLE ELEVEN OF THE :  
REAL PROPERTY TAX LAW BY THE :  
COUNTY OF ORANGE :

---

PETITION AND  
NOTICE OF  
FORECLOSURE

Index No. EF008698-2019

The above-captioned proceeding is hereby commenced to enforce the payment of delinquent taxes or other lawful charges which have accumulated and become liens against certain property. The parcels to which this proceeding applies are identified on the attached **List of Delinquent Taxes**, (hereinafter referred to as "**In Rem List**"), which is annexed hereto and made a part hereof. This document serves both as a Petition of Foreclosure and a Notice of Foreclosure for purposes of this proceeding.

**PLEASE TAKE NOTICE THAT ON THE 23<sup>rd</sup> DAY OF OCTOBER 2020, THE COMMISSIONER OF FINANCE, HEREINAFTER SOMETIMES REFERRED TO AS THE "ENFORCING OFFICER", OF THE COUNTY OF ORANGE, HEREINAFTER, THE "TAX DISTRICT", PURSUANT TO LAW, SHALL FILE WITH THE CLERK OF THE COUNTY OF ORANGE, THIS PETITION OF FORECLOSURE AGAINST VARIOUS PARCELS OF REAL PROPERTY FOR UNPAID TAXES.**

Effect of filing: All persons having or claiming to have an interest in the real property described on the attached In Rem List are hereby notified that the filing of this petition constitutes the commencement by the Tax District of a proceeding in the court specified in the caption above to foreclose each of the tax liens therein described by a foreclosure proceeding in rem.

Nature of proceeding: This proceeding is brought against the real property only and is to foreclose the tax liens described on the attached In Rem List. No personal judgment will be entered herein for such taxes or other legal charges or any part thereof.

Persons affected: This notice is directed to all persons owning or having or claiming to have an interest in the real property described in the attached In Rem List. Such persons are hereby notified further that a duplicate of this petition has been filed in the office of the Enforcing Officer of the Tax District and will remain open for public inspection up to and including the date specified below as the last day for redemption.

Right of redemption: Any person having or claiming to have an interest in any such real property and the legal right thereto may on or before **February 28, 2021** redeem the same by paying the amount of all **SUCH UNPAID TAX LIENS THEREON, INCLUDING ALL INTEREST AND PENALTIES** and other legal charges which are included in the lien against such real property, computed to and including the date of redemption. Such payments shall be made to Commissioner of Finance, Orange County and mailed to:

Commissioner of Finance, County of Orange  
County Government Center  
255 Main Street  
Goshen, New York 10924-1698

Payment must be either by certified check, cashier's check or money order. Personal checks will not be accepted. In the event that such taxes are paid by a person other than the record owner of such real property, the person so paying shall be entitled to have the tax liens affected thereby satisfied of record.



Last day for redemption: The last day for redemption is hereby fixed as the 28<sup>th</sup> day of February 2021.

Service of answer: Every person having any right, title or interest in or lien upon any parcel of real property described on the attached In Rem List may serve a duly verified answer upon the **Orange County Attorney**, the attorney for the Tax District, setting forth in detail the nature and amount of his or her interest and any defense or objection to the foreclosure. Such answer must be filed in the Office of the County Clerk and served upon the attorney for the Tax District on or before February 28, 2021, the date above mentioned as the last day for redemption.

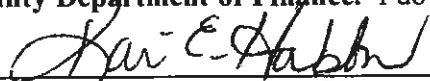
Failure to redeem or answer: In the event of failure to redeem or answer by any person having the right to redeem or answer, such person shall be forever barred and foreclosed of all his or her right, title and interest and equity of redemption in and to the parcel described on the attached In Rem List and a judgment in foreclosure may be taken by default.

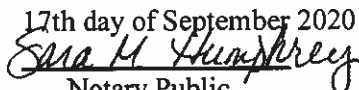
Right To Repurchase: Pursuant to local law, the former owner will have the sole right to repurchase the property from the County. To participate in this repurchase program, you must pay all of the taxes (prior and present), interest and penalty. Payment must be made by cash, certified bank check or money order. Upon repurchase the County will reconvey the property back to the former owner subject to all liens of record that existed before the County took title. The only additional notice that will be provided of this right to repurchase will be by a single certified letter mailed to the address of the former owner contained in the County's records.

Dated: September 17, 2020

State of New York )  
                                  ss.:  
County of Orange )

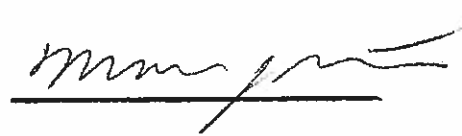
I, Karin E. Hablow, being duly sworn, depose and affirm under the penalties of perjury: I am the Enforcing Officer for the County of Orange. I have read this Petition and Notice of Foreclosure, which I have signed, and I am familiar with its contents. The contents of this Petition and Notice are true to the best of my knowledge, based upon the records of the **Orange County Department of Finance**. I do not know of any errors or omissions on the attached In Rem List.

  
Karin E. Hablow  
Commissioner of Finance

Sworn before me this  
17th day of September 2020  
  
Notary Public

SARA M. HUMPHREY  
Notary Public, State of New York  
No. 04HU6334344  
Qualified in Orange County  
Commission Expires Dec. 14, 2023

Attorney for Tax District  
**MATTHEW J. NOTHNAGLE**  
Chief Assistant County Attorney  
Langdon C. Chapman  
County Attorney for Orange County  
255 Main Street  
Goshen, New York 10924



STATE OF NEW YORK  
SUPREME COURT, ORANGE COUNTY

---

IN THE MATTER OF THE FORECLOSURE :  
OF TAX LIENS BY PROCEEDING IN REM :  
PURSUANT TO ARTICLE ELEVEN OF THE :  
REAL PROPERTY TAX LAW BY THE :  
COUNTY OF ORANGE :

---

PERSONAL NOTICE  
OF COMMENCEMENT  
OF FORECLOSURE  
PROCEEDING

Index No. EF008698-2019

**TO THE PARTY TO WHOM THE ENCLOSED IS ADDRESSED:**

You are presumed to own or have a legal interest in one or more of the parcels of real property described on the **ENCLOSED NOTICE AND PETITION OF FORECLOSURE**, and the relevant pages of the list of delinquent taxes (In Rem List).

A proceeding to foreclose on such property based upon the failure to pay real property taxes has been commenced. Foreclosure will result in the loss of ownership of such property and all rights in that property.

To avoid loss of ownership or any other rights in the property, all unpaid taxes and other legal charges must be **PAID ON OR PRIOR TO February 28, 2021** or you must interpose a duly verified answer in the proceeding. You may make payment by sending a certified check, cashier's check or money order, (no personal checks will be accepted) in the amount of all such unpaid taxes and legal charges on or prior to that date to:

Commissioner of Finance, County of Orange  
County Government Center  
255 Main Street  
Goshen, New York 10924-1698

Check should be made payable to: Commissioner of Finance

**In addition**, if you owe current city school taxes for the city of Port Jervis, Newburgh or Middletown, these must be paid along with all arrears by February 28, 2021 to avoid foreclosure.

You may wish to contact an attorney to protect your rights.

After February 28, 2021, a Court will transfer the title of the property to the County of Orange by means of a Court judgment.

Should you have any questions regarding this notice, please call the **Finance Department Delinquent Property Tax Collection Office at (845) 291-2480**.

Dated: September 17, 2020

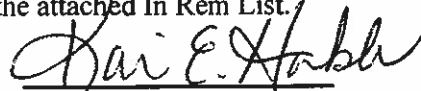
**Enforcing Officer:**

Karin E. Hablow  
Commissioner of Finance



State of New York     )  
                                  ss.:  
County of Orange     )

I, Karin E. Hablow, being duly sworn, depose and affirm under the penalties of perjury: I am the Enforcing Officer for the County of Orange. I have read this Petition and Notice of Foreclosure, which I have signed, and I am familiar with its contents. The contents of this Petition and Notice are true to the best of my knowledge, based upon the records of the **Orange County Department of Finance**. I do not know of any errors or omissions on the attached In Rem List.

  
Karin E. Hablow,  
Commissioner of Finance

Sworn before me this  
17<sup>th</sup> day of September 2020

  
Notary Public

**SARA M. HUMPHREY**  
Notary Public, State of New York  
No. 04HU6334344  
Qualified in Orange County  
Commission Expires Dec. 14, 2023

Attorney for Tax District:  
**MATTHEW J. NOTHNAGLE**  
Chief Assistant County Attorney  
**Langdon C. Chapman**  
County Attorney for Orange County  
255 Main Street  
Goshen, New York 10924





**ORANGE COUNTY DEPARTMENT OF FINANCE**

Located at  
255 Main Street  
Goshen, New York 10924

**Karin E. Hablow**  
Commissioner

**Real Property Tax**  
845-291-2480

**Kerry Gallagher**  
Deputy Commissioner

**Main Fax**  
845-378-2372

**Steven M. Neuhaus**  
County Executive

**DELINQUENT TAX BILL**

Date of this Bill: **October 2020**

Municipality: **Goshen**

***Interested Party on Title Search***

Section-Block-Lot: **12-2-42**

Orange County Industrial Development Agency  
225-275 Main ST  
GOSHEN, NY 10924

**Make checks payable and remit to:** Commissioner of Finance  
County of Orange  
255 Main Street  
Goshen, NY 10924

**FOR INFORMATIONAL PURPOSES**

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**\*\*\*\*CASHIER'S CHECK/CERTIFIED CHECK/MONEY ORDER ONLY\*\*\*\*  
NO PERSONAL CHECKS WILL BE ACCEPTED.**

**THE REDEMPTION PERIOD EXPIRES FEBRUARY 28, 2021.  
PAYMENTS WILL BE ACCEPTED UNTIL FEBRUARY 28, 2021.**

Total amount due will include a 5% penalty, interest, and certain fees added thereto.  
Penalty and interest accrue by law. Interest may be subject to increase (Real Property Tax Law – Section 924-a).  
Partial payments are accepted on delinquent taxes.  
For further information call the Orange County Tax Department at 845-291-2480

 Please return bottom stub with payment

**ORANGE COUNTY DELINQUENT PROPERTY TAX PAYMENT STUB**

Date of this Bill: **October 2020**

Municipality: **Goshen**

***Interested Party on Title Search***

Section-Block-Lot: **12-2-42**

Orange County Industrial Development Agency  
225-275 Main ST  
GOSHEN, NY 10924

**AMOUNT REMITTED: \$ \_\_\_\_\_**

THE FOLLOWING INFORMATION APPEARED ON THE LIST OF DELINQUENT  
TAXES FILED WITH THE COUNTY CLERK ON NOVEMBER 1, 2019.

Owner (s):	NYTT LLC, 975 Belmont Ave
Description:	Town of Goshen
Parcel ID:	333089; 12-2-42
Amount Due:	2,060.10

Begin forwarded message:

**From:** Press Office <[Press.Office@exec.ny.gov](mailto:Press.Office@exec.ny.gov)>

**Date:** October 23, 2020 at 3:43:05 PM EDT

**To:** Jonas Neri <[jneri@BrownWeinraub.com](mailto:jneri@BrownWeinraub.com)>

**Subject: GOVERNOR CUOMO ANNOUNCES EIGHT ADDITIONAL NEW YORK COMPANIES TO START PRODUCING COVID-19 RELATED EQUIPMENT AND SUPPLIES TO SUPPORT IN-STATE NEEDS**



**For Immediate Release: 10/23/2020**

**GOVERNOR ANDREW M. CUOMO**

**GOVERNOR CUOMO ANNOUNCES EIGHT ADDITIONAL NEW YORK COMPANIES TO START PRODUCING COVID-19 RELATED EQUIPMENT AND SUPPLIES TO SUPPORT IN-STATE NEEDS**

***\$4.9 Million in Incentives Awarded to Manufacturers Across the State Will Provide Faster and More Secure Access to Life-Saving Medical Products***

Governor Andrew M. Cuomo today announced that eight additional Empire State companies have received support from New York to produce needed supplies to help combat the COVID-19 pandemic. While New York currently has some of the lowest transmission rates in the United States, preparing for a second wave is vital to protecting essential healthcare workers and the public. These grant funds will help alleviate product shortages due to supply chain issues that could lead to unfair pricing practices. These companies will also increase the State's manufacturing capacity while creating new jobs and market opportunities. To date, more than \$16 million in grants have been awarded to 28 qualifying New York-based companies to retool their business lines and pivot to manufacturing vital supplies for ongoing response and recovery efforts.

"During the pandemic, the nation learned the hard lesson of not having adequate and readily available supplies made in the United States. As a result, we had to scramble for live-saving products that are mainly manufactured overseas," **Governor Cuomo said.** "New York is building back better and our plan to move forward includes investing in the infrastructure that will keep us prepared and support local companies."

In March, Governor Cuomo asked companies with New York-based operations to retool production lines in order to manufacture [approved](#) COVID-19 critical supplies, such as ventilators, test kits and PPE, including N95 respirators, surgical masks, gowns and face shields. Governor Cuomo has already announced [20 companies](#) for

State investment to manufacture supplies to address COVID-19, eight of which were previously awarded \$4 million to help make the products here in New York State.

"At a time when we were scouring the earth in search of personal protective equipment, New York State's manufacturers answered the call to support our COVID-19 frontline heroes," **Lieutenant Governor Kathy Hochul said.** "We are proud to support our innovative manufacturers who are stepping up to save lives and are a model for how we build back better for the post-pandemic future."

**Empire State Development Acting Commissioner and President & CEO-designate Eric Gertler said,** "New York State is home to many of the world's most innovative companies. ESD's support for these businesses not only answers Governor Cuomo's call for New York industries to assist with efforts to fight the coronavirus, but also reflects the investment that is being made to strengthen the State's manufacturing sector to adapt quickly to new market opportunities and continue its record of smart growth as we build back better."

**Altor Safety, LLC, Mid-Hudson: \$800,000** - is a new company created in response to the COVID-19 crisis, formed through a partnership between PowerPak Civil & Safety, a national distributor of safety and PPE equipment, and MetroWall, a manufacturer and installer of interior glass partitions. The Rockland County manufacturer will produce and distribute FDA-approved, 3-ply disposable face masks made in the USA and will invest over \$2.5 million to purchase machinery, equipment and raw materials to manufacture and distribute these products. At full production, Altor Safety LLC will produce 3,000,000 units of 3-ply disposable face masks per month. This is the first phase of a larger plan to bring manufacturing of masks and other PPE products back to New York State and Rockland County.

**Carestream, Inc., Finger Lakes: \$750,000** - is a worldwide provider of medical imaging systems solutions; X-ray imaging systems for non-destructive testing; and precision contract coating services for a wide range of industrial, medical, electronic and other applications located in Rochester, Monroe county. Carestream will invest over \$1.67 million and create five jobs to produce 135,000 face shields to be shipped by May of 2021. The Greater Rochester Enterprise advocated for this project.

**D'Addario and Company, Long Island: \$341,000** - is a century-old New York-based manufacturer and one of the largest manufacturers of musical instrument accessories including guitar strings, drum heads, and other equipment. The company, located in Farmingdale, Suffolk County, employs over 850 jobs on Long Island. When their primary business shut down in March during the pandemic, they immediately converted space and machinery to manufacture plastic face shields and began selling to hospitals. This grant will allow D'Addario to double facemask production, allowing them to add new equipment, raw materials, R&D and working capital. D'Addario will produce 1.2 million face shields.

**Georgia Brown, LLC, Mid-Hudson: \$44,400** - is a small business located in New Windsor, Orange County. The company has over 15 years of experience producing, retailing and distributing a wide variety of home storage and organization products, as well as holiday and home décor. Realizing the need for PPE at this critical time, this company had access to the necessary materials and the desire and willingness to invest in this new endeavor, and decided to pivot to produce 3-ply surgical masks. Georgia Brown, LLC will invest over \$111,000 and create three jobs to produce 30,000 masks per week at full ramp-up.

**Hansen Industries, Inc., Long Island: \$800,000** - is an air conditioner manufacturer located in St. James, Suffolk County. Islandaire will retool to produce 2,000,000 surgical masks in approximately 6 months to assist with combating the COVID-19 pandemic. The company accepted an \$800,000 working capital medical/critical supplies grant to proceed with this nearly \$3.85 million project and will create 10 net new jobs.

**HC Contracting, New York City: \$800,000** - is a family-owned-and-operated business with a history of high-end apparel tailoring and manufacturing, producing USA Olympic uniforms, runway garments, and suiting for major US Brands since 1987. In March, they launched an initiative to retool factories around New York City's garment district in support of the exponential need for PPE. With the help of ESD, New York-produced PPE is now a core part of Ferrara's evolving business model and long-term vision. The company has invested millions to date, and will invest an additional \$2 million in inventory, machinery, training and materials to support 200 jobs at their facility in Manhattan's Garment District, generating sales of close to 500,000 isolation gowns and other PPE in the short term, and ramping up to over 50,000 units a week. Ferrara will produce Level 1, 2 and 3 gowns, lab coats, aprons, booties, and surgical caps - some of which are reusable.

**NYPPE, LLC., Western New York: \$1,000,000** - will be producing both surgical masks and N-95 respirators. At full ramp up, they will be producing 360,000 N-95 respirators and 1,800,000 surgical masks per week. The company will be hiring 60 full time employees.

**Ziel Inc. PBC, Mid-Hudson: \$390,000** - is an on-demand manufacturer of apparel in Newburgh, Orange County. Ziel will pivot a portion of their manufacturing operations and shift to N-95 equivalent mask production at their Newburgh location. Viewing this operation as essential to assisting the shoring up of the local supply chain, Ziel will continue to produce masks at their facility on a permanent basis. The company will hire staff, purchase raw materials, and work with engineers to develop their nonwoven materials into N-95 equivalent masks. Ziel plans to produce more than 38.5 million masks over five years and will be investing \$1,000,000 in this project.

###

From: MorningAgClips (morningagclips.com)

# Major developments for CBD industry announced

Sen. Metzger, Town of Warwick, Orange County IDA, hemp industry leaders gather

PUBLISHED ON OCTOBER 28, 2020



*Senator Jen Metzger announcing the release of draft hemp regulations from the NYS Department of Health as required by her legislation at Kaycha Labs in Warwick. (Courtesy Photo)*

WARWICK, N.Y. — Senator Metzger (SD-42) joined Supervisor Mike Sweeton, farmer Mark Rogowski, Orange County IDA CEO Laurie Villasuso, and hemp industry leaders at a press conference outside of Kaycha Labs in Warwick today [Oct. 27th] to announce major new initiatives to advance Orange County’s hemp industry. Metzger, who chairs the Senate Agriculture Committee, announced the release of draft hemp regulations from the NYS Department of Health as required by her legislation ([S6184A](#)) passed last year. The draft regulations allow for CBD-infused beverages and food, and if finalized,



would greatly expand opportunities for developing a wider range of CBD products in New York State. At the press conference, Senator Metzger also announced \$250,000 in state funding to the Town of Warwick to purchase equipment for rent by local farmers diversifying into hemp production.



Senator Metzger presenting \$250,000 in state funding to the Town of Warwick to purchase hemp trimming and testing equipment to rent to farmers, reducing the costs to local farms of diversifying into this high-value commodity. Left to right: Assemblyman Karl Brabenec, Warwick Town Supervisor Michael Sweeton, Senator Jen Metzger, and Orange County IDA CEO Laurie Villasuso. (Courtesy Photo)

Industry leaders praised the work done by Senator Metzger to advance the hemp industry and new opportunities for New York farmers during the event. The 2018 Farm Bill removed cannabidiol, known as CBD, from the Controlled Substances Act, creating new opportunities for New York farmers and businesses. The state law developed by Metzger and her counterpart in the Assembly, Agriculture Chair Donna Lupardo, establishes the necessary regulatory framework for growing hemp for CBD and processing, manufacturing, and selling CBD products in New York, creating the certainty the industry needs to invest and the standards consumers need for a safe and high-quality product.



The draft regulations based on the legislation and released last night by the NYS Department of Health allow for CBD-infused beverages and foods. At the press conference, Urban Extracts, Rogowski Farms, and Hillview Med announced a new partnership in which locally grown and processed hemp extract will be sourced for a CBD-infused seltzer, [Kaló](#), distributed by Pepsi. “Now we have the rules of the game, and now we know what we’re shooting for,” said Urban Extracts CEO Eran Sherin, while discussing the opportunities associated with the local manufacturing of hemp, allowing for scale and creating Orange County jobs.

At the press conference, Senator Metzger also announced a \$250,000 state grant she secured for the Town of Warwick to purchase hemp trimming and testing equipment to rent to farmers, reducing the costs to local farms of diversifying into this high-value commodity. The equipment will be housed at the Orange County Industrial Development Agency Accelerator, which CEO Laurie Villasuso announced will occupy one of the historic buildings at the Warwick Tech Park to provide manufacturing and office space for CBD-related small businesses that participate in the IDA’s Accelerator program.

“During this challenging economic time, it is important that we capitalize on new opportunities for our farmers and businesses, and create the conditions for the hemp industry to grow and thrive,” said Senator Jen Metzger. “New York is well-positioned to be a leader in this promising new industry, and I look forward to continuing to work with our local partners to build on the successful public-private partnership that is well underway here in Warwick.”

Warwick Town Supervisor Michael Sweeton said, “Our hemp initiative had stalled since the regulations were under review which forced companies to put their plans for investment on hold. I reached out to Senator Metzger for help and she delivered by working to get NYS to issue these regulations. This will now jump start our effort to redevelop the former prison and create jobs here in Warwick.”

Laurie Villasuso, CEO of the Orange County IDA said, “Thanks to the dedication and leadership of our Senator, Jen Metzger, the CBD regulations this industry needs to burst forward have now been released. These regulations—and all of the hard work that went into seeing them through—mean so much for our economic growth here in Orange County, at a time when we need it most.”

Mark Rogowski of Rogowski Farm said, “This latest legislation that Senator Metzger put a lot of time into is very encouraging. To be able to expand it into food and beverage gives us another avenue where we can move this product. A lot of us farmers in the Black Dirt region have a lot of faith that we’ll be able to pull this off. Hopefully it sparks things on a national level where you’ll see CBD demand explode like we thought it would back in 2018. Hopefully 2021 will be great and we can start growing a good quantity in New York.”

Eran Sherin, CEO of Urban Extracts said, “Everything that we need to be successful is right here in our community, and it really starts with our farmers... What we’ve learned over the last three years is we know how to produce [hemp], we know how to extract it, we know how to productize it, but a business is only successful if you have customers and you can distribute, and this set of regulations is so important because it really now gives us the ability to scale and to distribute product.”

Jen Metzger represents the 42nd Senate District, which includes all of Sullivan County and parts of Delaware, Orange, and Ulster Counties. Senator Metzger serves as Chair of the Agriculture Committee and sits on the Environmental Conservation, Education, Health, Energy and Telecommunications, Local Government, Women’s Issues, Domestic Animal Welfare, and Legislative Commission on Rural Resources Committees.

–The Office of State Senator Jen Metzger

<https://www.morningagclips.com/major-developments-for-cbd-industry-announced/>

**Subject:** FW: GOVERNOR CUOMO ANNOUNCES PROPOSED REGULATIONS FOR CANNABINOID HEMP PRODUCTS  
**Date:** Wednesday, October 28, 2020 at 4:08:35 PM Eastern Daylight Time  
**From:** Kostenblatt, James (ESD)  
**To:** 'Vinnie Cozzolino', nancy@occitizensfoundation.org, lvillasuso@ocnyida.com  
**Attachments:** ATT00001.gif

See below. Just out.

**James Kostenblatt**  
Deputy Director, Mid-Hudson

**Empire State Development**  
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[www.esd.ny.gov](http://www.esd.ny.gov)



**For Immediate Release:** 10/28/2020

**GOVERNOR ANDREW M. CUOMO**

## **GOVERNOR CUOMO ANNOUNCES PROPOSED REGULATIONS FOR CANNABINOID HEMP PRODUCTS**

### ***Department of Health's Cannabinoid Hemp Program Will License Processors and Retailers and Set Quality Control Standards***

Governor Andrew M. Cuomo today announced that the New York State Department of Health has filed [proposed regulations](#) to regulate cannabinoid hemp products in New York State. In accordance with [legislation](#) signed earlier this year by the Governor, the Department is creating a Cannabinoid Hemp Program. The Program will license both cannabinoid hemp processors and retailers and set quality control standards that all cannabinoid hemp products must meet.

"These regulations are the next step toward regulating the growing hemp industry in New York in a way that protects consumers and helps ensure the industry's long-term viability," **said Governor Cuomo.** "Establishing the State's Cannabinoid Hemp Program to regulate production and sale of hemp and hemp extract will help protect both consumers and farmers."

The Cannabinoid Hemp Program will organize and legitimize the cannabinoid market in New York State by creating a licensing framework for cannabinoid hemp processors and retailers, and by establishing basic manufacturing, packaging and labeling and laboratory testing standards. Currently, applications for cannabinoid hemp processing and retailing licenses are under development, and NYSDOH intends to make them available in early 2021.

In 2015, the Governor launched the Industrial Hemp Agricultural Research Pilot Program, supporting farmers and further boosting economic development in upstate New York. Since then, New York's hemp program has expanded significantly, making New York one of the leading hemp producing states in the country, with more than 700 farmers and 100 manufacturers of hemp products. Hemp is a sustainable, carbon-sequestering crop that is capable of being transformed into hundreds of products including textiles, furniture, fuel, food, construction materials and personal care items.

Some hemp products that have been growing in popularity include cannabinoid hemp products such as Cannabidiol, or CBD, which can be found online or in retail stores throughout the state. While regulations exist at the federal level for the growth of hemp, there are currently no federal regulations for the processing and manufacturing of cannabinoid hemp products, resulting in the cannabinoid hemp marketplace lacking basic consumer protections that are common in similar industries. There are published reports of cannabinoid hemp products that do not contain any cannabinoids but contain unspecified or inconsistent levels of THC - the psychoactive component of the cannabis plant - or are contaminated with harmful toxins.

The proposed regulations fill this regulatory void and create a system allowing for the use of hemp-derived cannabinoids in certain foods, beverages, topicals and dietary supplement products, provided regulatory requirements are satisfied. All cannabinoid hemp products must be manufactured using good manufacturing practices based on the end product's intended use. The label must contain the total amount of cannabinoids in the product, number of cannabinoids per serving, a nutritional or supplement fact panel, information about whether the product contains THC and appropriate warnings stating the product is not intended for children, its use may cause the failure of a drug test, the product has not been evaluated by the FDA and if pregnant or nursing, to consult a healthcare provider before use.

Additionally, cannabinoid hemp products are required to be laboratory-tested before entering the market, with testing for their cannabinoid profile, heavy metals, microbial impurities, mycotoxins, pesticides and residual solvents. This information is required to be retrievable by the consumer in the form of a QR code or corresponding link on the product label. Retailers are prohibited from selling inhalable cannabinoid hemp products, such as vape products, to consumers under 21 years of age. Processors are prohibited from making claims suggesting the product will diagnose, cure, mitigate, treat or prevent disease.

**New York State Department of Health Commissioner Dr. Howard Zucker said,** "When you purchase a product, you should have confidence that what is stated on the label is actually in the product. With the increased production and use of cannabinoid hemp products, New York State could not wait for the federal government to act to institute basic consumer protections to protect the health and safety of New Yorkers."

**Senator Jen Metzger said,** "These regulations will provide much-awaited certainty for the hemp industry and offer a tremendous opportunity for our farmers while ensuring that we have the standards consumers need for a safe and high-quality product. As the Senate sponsor of the bill that created the regulatory framework for hemp, I want to thank the Governor for his continued leadership to advance the hemp industry and move the regulatory process forward, and I urge New York farmers and all stakeholders to review the regulations and provide input during the 60-day comment period."

**Assembly Member Donna Lupardo said,** "With these regulations, New York is creating a national model for consumer safety, requiring strict labeling and production standards. The inclusion of cannabinoid extracts in food and beverages will provide new economic opportunities for farmers, processors, manufacturers, and retailers throughout the state. I appreciate the Governor's continued commitment to New York's hemp industry and look forward to working with his administration as these regulations are finalized through the public comment period."

For more information on New York's Cannabinoid Hemp Program and to view the proposed regulations, please visit: <https://health.ny.gov/regulations/hemp/>.

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**FOR IMMEDIATE RELEASE:** October 27, 2020

**CONTACT:** Lacey Seidman | 845.344.3311 | [seidman@nysenate.gov](mailto:seidman@nysenate.gov)

**\*\*PRESS RELEASE\*\***

**Sen. Metzger, Town of Warwick, Orange County IDA, and Hemp Industry Leaders Announce Major Developments for Warwick's CBD Industry**

**Warwick, NY...**Senator Metzger (SD-42) joined Supervisor Mike Sweeton, farmer Mark Rogowski, Orange County IDA CEO Laurie Villasuso, and hemp industry leaders at a press conference outside of Kaycha Labs in Warwick today to announce major new initiatives to advance Orange County's hemp industry. Metzger, who chairs the Senate Agriculture Committee, announced the release of draft hemp regulations from the NYS Department of Health as required by her legislation ([S6184A](#)) passed last year. The draft regulations allow for CBD-infused beverages and food, and if finalized, would greatly expand opportunities for developing a wider range of CBD products in New York State. At the press conference, Senator Metzger also announced \$250,000 in state funding to the Town of Warwick to purchase equipment for rent by local farmers diversifying into hemp production.

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###

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(<http://hudsonvalley.com>)



(<https://hvmag.com/>)

# Is Newburgh the Hudson Valley's New Fashion Capital?

Rita Ross (<https://hvmag.com/author/rita-ross/>)



**The Hudson Valley city is home to a dozen start-up clothing companies, thanks in part to the Orange County Industrial Development Agency.**



**Kate Perna of Inner Beauty Effects works with regional female artists to design the fabric linings of her bags.  
Photo by Valerie Shively**

At the turn of the 20th century, the City of Newburgh hummed with more than 100 factories — many of them garment manufacturers. Then, like many urban areas over the years, it gradually fell into decline. But flash-forward to modern times and Newburgh — plus its mini fashion industry — has been on the upswing again.

Of course, since the pandemic hit, many of Newburgh’s manufacturing and other businesses — as in the rest of the Hudson Valley and elsewhere — have been in limbo, with some shut down and others reducing output.

The pre-pandemic boost in Newburgh manufacturing came, partly at least, thanks to support from the Orange County Industrial Development Agency (IDA) and its Accelerator business incubator. At the beginning of 2020, the fashion cluster — its biggest — included 12 companies, and had helped create 70 jobs at its sites in Newburgh, New Windsor, and Chester. “We generally work with the new companies for about three years, but we continue as long as it takes for them to become sustainable,” says Laurie Villasuso, acting chief executive officer.

“An important aspect of the Accelerator,” adds Villasuso, “is that we don’t take any percentage of the businesses’ profits. And we encourage the start-ups to hire local people and provide good working environments. These aren’t sweatshops. Also, Newburgh has such a rich history of textiles, so it’s an excellent location for these companies.”

One of those entrepreneurs, Kate Perna of Poughkeepsie, literally started her company on her dining room table: “I always loved to make things, and, about eight years ago, I taught myself to sew.” She began crafting tote bags for family and friends, which turned it into a business — Inner Beauty Effects — in October 2019. Help came partially in the form of assistance from the Accelerator. “The Accelerator is all about creating jobs and opportunity, and when I spoke with them, I realized we had a common vision,” Perna says.

Perna moved the tote bag business into one of the Accelerator’s two Newburgh sites, at 605 Broadway — fittingly, the building is a former women’s-apparel factory.

Inner Beauty Effects collaborates with regional female artists who design the bags’ fabric linings; most exteriors are made of waxed canvas, colored with nontoxic dyes. Inner Beauty Effects also sells other types of women’s bags, and a portion of sales have been going to local women’s organizations.

“Everything is handmade,” adds Perna, who has strong ties to Newburgh — she received her undergrad and master’s degrees at Mount Saint Mary College and is also an English teacher at SUNY Orange in the city.

Perna says her company’s long-term goals, once the economy begins to open up again, include continuing to work with local artists and to help train local, under-employed workers in sewing skills so they can eventually step into steady jobs.

“The pandemic has certainly changed some things for us,” Perna says. “We pivoted almost immediately from manufacturing totes to making face masks. She adds: “We’re looking more at short-term goals because so much is still uncertain.”

Inner Beauty Effects recently launched its first washable tote bag (especially practical during the pandemic, Perna says), paired with hand sanitizer from Hudson Naturals, local makers of plant-based skincare products.



A Ziel employee at work in Newburgh. Photo courtesy of Ziel

Another Newburgh fashion startup is Ziel, an on-demand apparel manufacturing service for brands and retailers that want to have their own line of on-demand, sustainable, private label apparel. It was launched in Manhattan in 2015 by former competitive athlete Marleen Vogelaar, who has a background in manufacturing and finance. The business later moved to the Bronx, then relocated to Newburgh last year, employing seven full-time seamstresses and manufacturing out of the same 605 Broadway site as Inner Beauty Effects.

Prior to the pandemic, Luke Padawer, a Ziel project manager, explained their method: “We do on-demand, sustainable production. We actually describe ourselves as a fashion technology company because we provide the concept, prototype, and design production. So, instead of manufacturing 1,000 garments at a time, we can make just a few pieces for a customer’s specified order, and increase the amount as needed,” Padawer says.

In response to the COVID-19 pandemic, the Ziel factory and its networks of micro-factories are also working together to source and produce PPE for medical and non-medical use

Ziel has received engineering and technical support thanks to the Orange IDA. The IDA organizes sewing training sessions for both experienced and new seamstresses and tailors. The classes are tailored to Ziel’s needs, and the majority of seamstresses who have gone through the program and were offered a job.

Project manager Noelani Reyes has been overseeing a Ziel garment project dubbed Sheltersuit that's aimed at helping homeless people. "It's essentially a lightweight, waterproof jacket with a hood that zips into a sleeping bag and can be carried like a backpack," she says. "And while we know it won't solve the homelessness problem, it can be a helpful option for homeless people who sleep out in the streets. So far, about 10,000 Sheltersuits have been distributed globally."

Newburgh is the first location in the USA where these suits are produced.